

CLARKE CO.
PCC SIDEWALK/ADA RAMPS
STPN-069-2(26)--2J-20

LETTING DATE
DEC. 15, 2020



Highway Division

PLANS OF PROPOSED IMPROVEMENT ON THE

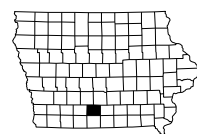
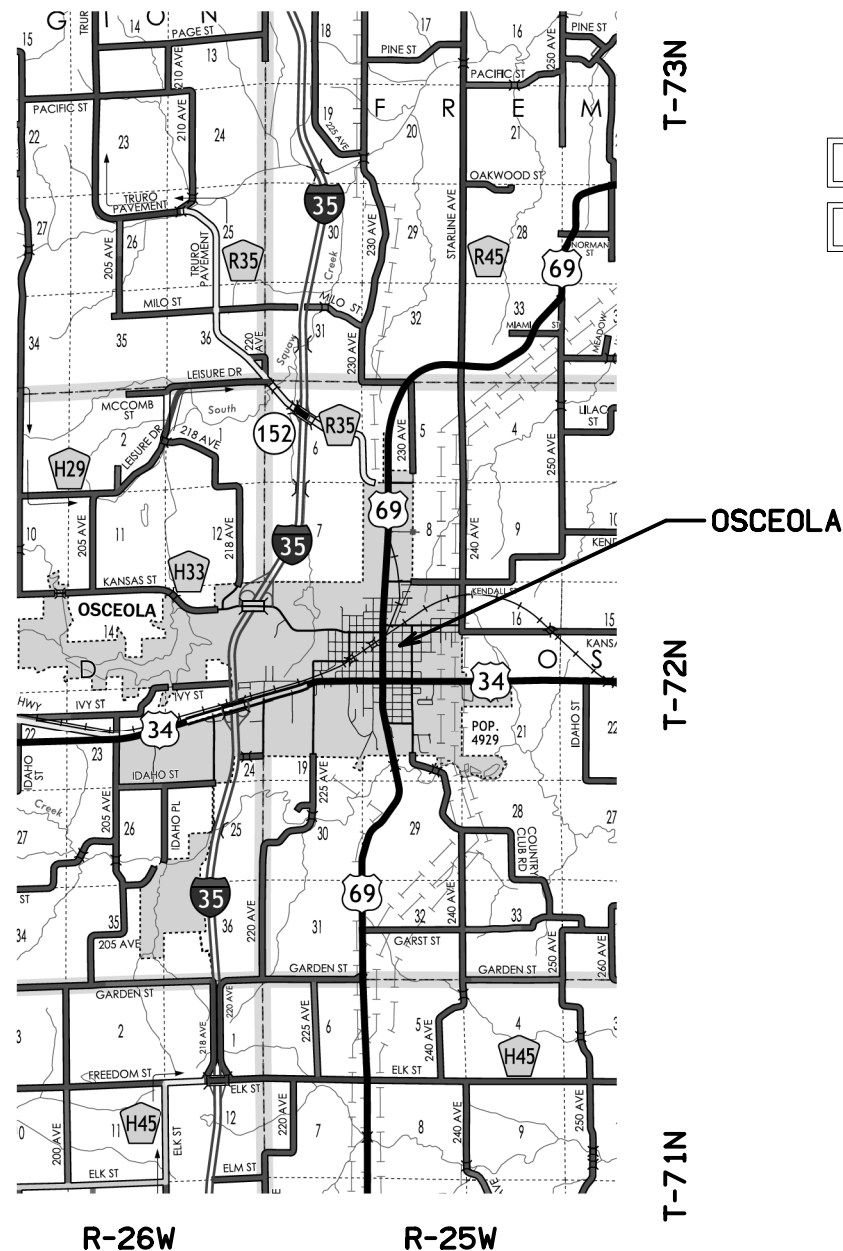
PRIMARY ROAD SYSTEM
CLARKE COUNTY
 PCC SIDEWALK/ADA RAMPS

IN OSCEOLA

SCALES: As Noted

Refer to the Proposal Form for list of applicable specifications.

Value Engineering Saves. Refer to Article 1105.15 of the Specifications.



For Project Location Map
 Refer to Sheet A.2

DESIGN DATA URBAN			
2017	AADT	9,900	V.P.D.
2017	AADT	N/A	V.P.D.
2017	DHV	N/A	V.P.H.
	TRUCKS	N/A	%
Total			
Design ESALs			

INDEX OF SEALS		
SHEET NO.	NAME	TYPE
A.1	Douglas G. Holle	Primary Signature Block

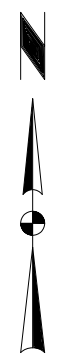
REVISIONS	TOTAL
	66
PROJECT IDENTIFICATION NUMBER	
18-20-069-010	
PROJECT NUMBER	
STPN-069-2(26)--2J-20	
R.O.W. PROJECT NUMBER	
STPN-069-2(27)--2R-20	

INDEX OF SHEETS	
No.	DESCRIPTION
A Sheets	Title Sheets
A.1	Title Sheet
A.2	Location Map Sheet
B Sheets	Typical Cross Sections and Details
B.1	Typical Cross Sections and Details
D Sheets	Mainline Plan and Profile Sheets
* D.1	Plan Legend & Symbol Information Sheet
* D.2 - 21	Plan Sheets
G Sheets	Survey Sheets
G.1	Survey Information
H Sheets	Right-of-Way Sheets
* H.1 - 20	US-69 in Osceola Right-of-Way Sheets
S Sheets	Sidewalk Sheets
* S .1	Sidewalk Legend & Symbol Information Sheet
* S .2 - 12	Sidewalk Plan & Tabulation Sheets
* Color Plan Sheets	

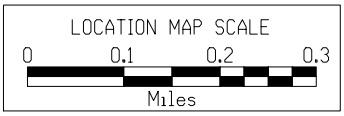
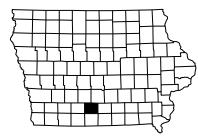
PRELIMINARY PLANS

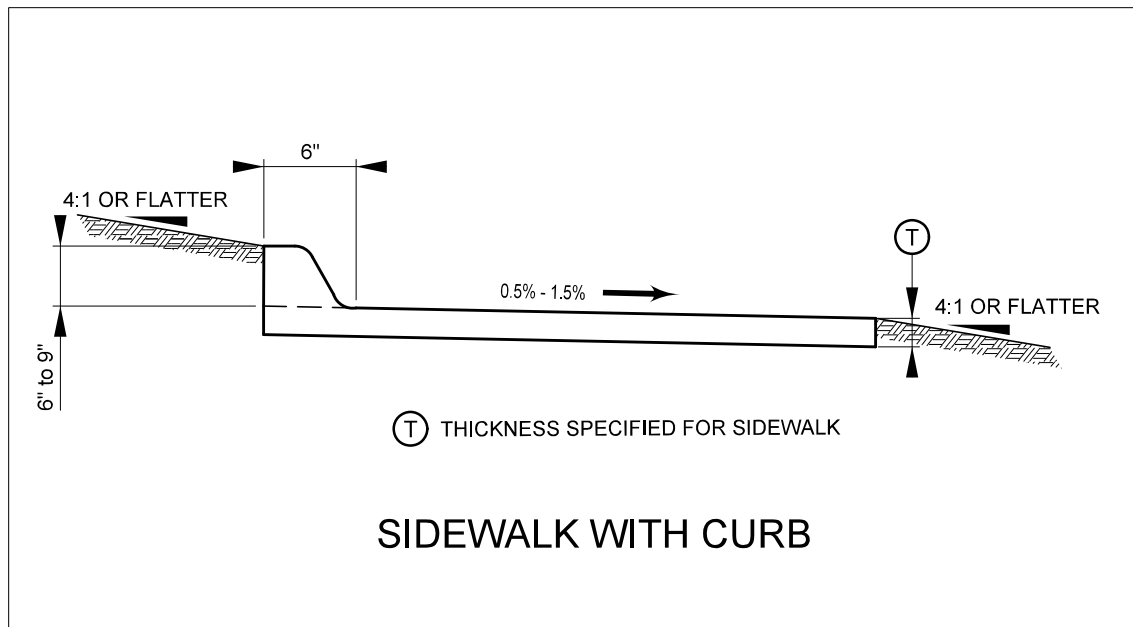
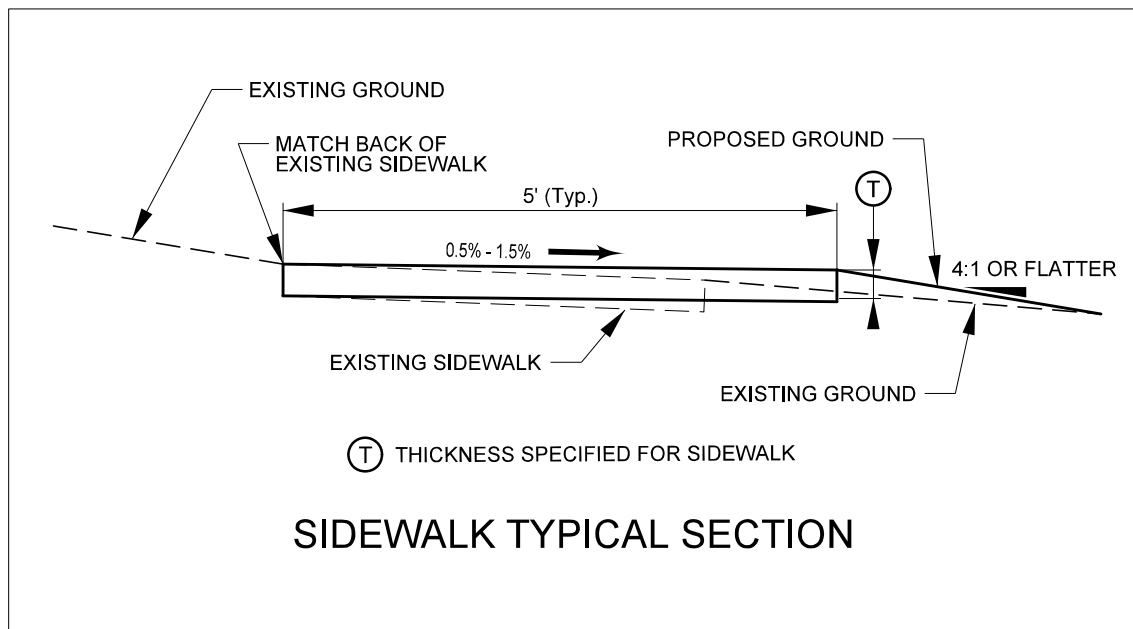
Subject to change by final design.

D5 PLAN - Date: 12-27-2019



T-72N





SURVEY SYMBOLS

UTILITY LEGEND

City of Osceola
 Brandon Patterson
 641-342-1435
 osceolawaterworks@windstream.net

Alliant Energy
 Alliant Energy Field Engineer
 800-255-4268
 locate_IPL@alliantenergy.com

Clarke Electric Cooperative
 Don Lange
 641-342-2173
 jkbill@cecn.net

Chat Mobility
 Tom Weis
 712-370-8080
 tweis@chatmobility.com

Iowa Communications Network
 Shannon Marlow
 800-572-3940
 icnoutsideplantiowaonecall@iowa.gov

Aureon Network Services
 Jeff Klocko
 515-830-0445
 jeff.klocko@aureon.com

Mediacom Cable
 Shane Shrader
 712-314-1248
 sschrader@mediacomcc.com

Unite Private Networks, LLC
 Joe Kilzer
 816-425-3556
 upngis@upnfiber.com

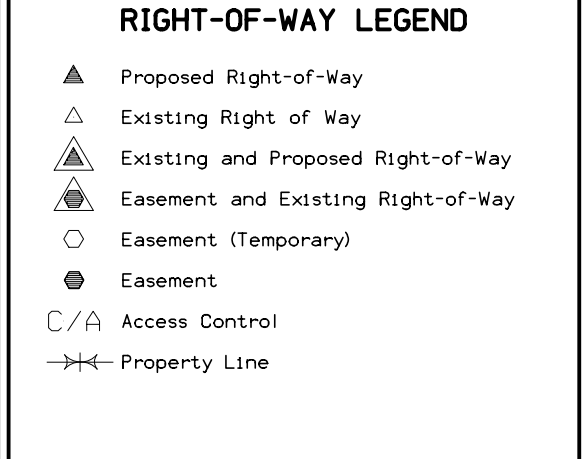
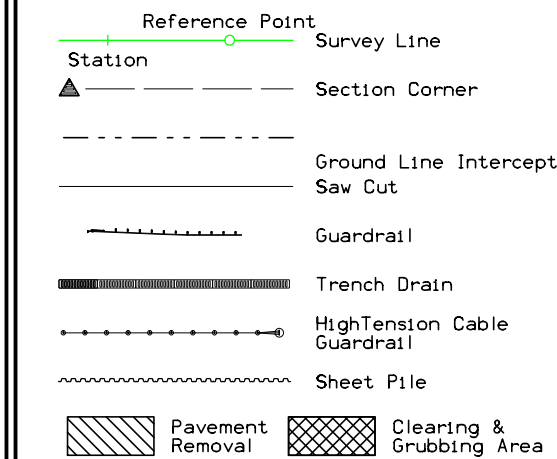
Windstream Communications
 Locate Desk
 800-289-1901
 locate.desk@windstream.com

PLAN VIEW COLOR LEGEND OF PLAN AND PROFILE SHEETS

LINEWORK	Design Color No.	
Green	(2)	Existing Topographic Features and Labels
Blue	(1)	Proposed Alignment, Stationing, Tic Marks, and Alignment Annotation
Magenta	(5)	Existing Utilities
SHADING	Design Color No.	
Yellow	(4)	Highlight for Critical Notes or Features
Red	(3)	Delineates Restricted Areas
Lavender	(9)	Temporary Pavement Shading
Gray, Light	(48)	Proposed Pavement Shading
Gray, Med	(80)	Proposed Granular Shading
Gray, Dark	(112)	Proposed Grade and Pave Shading "In conjunction with a paving project"
Brown, Light	(236)	Grading Shading
Tan	(8)	Proposed Sidewalk Shading
Blue, Light	(230)	Proposed Sidewalk Landing Shading
Pink	(11)	Proposed Sidewalk Ramp Shading

PROFILE VIEW COLOR LEGEND OF PLAN AND PROFILE SHEETS

LINEWORK	Design Color No.	
Green	(2)	Existing Ground Line Profile
Blue	(1)	Proposed Profile and Annotation
Magenta	(5)	Existing Utilities
Blue, Light	(230)	Proposed Ditch Grades, Left
Black	(0)	Proposed Ditch Grades, Median
Rust	(14)	Proposed Ditch Grades, Right



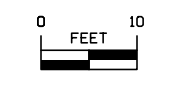
**PLAN AND PROFILE
 LEGEND AND SYMBOL
 INFORMATION SHEET**

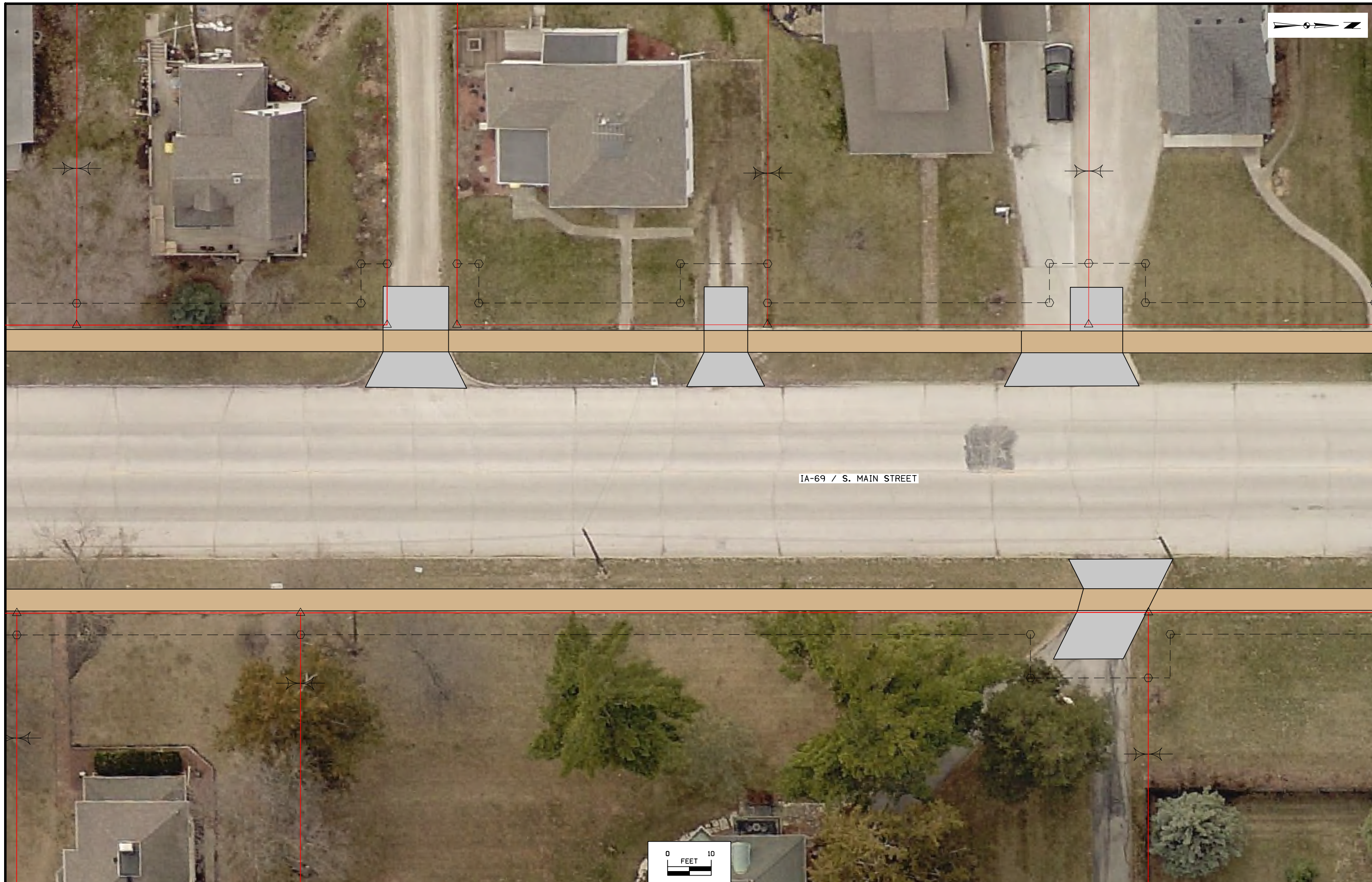
(COVERS SHEET SERIES D, E, F, & K)



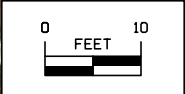
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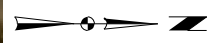
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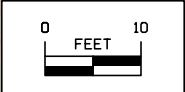


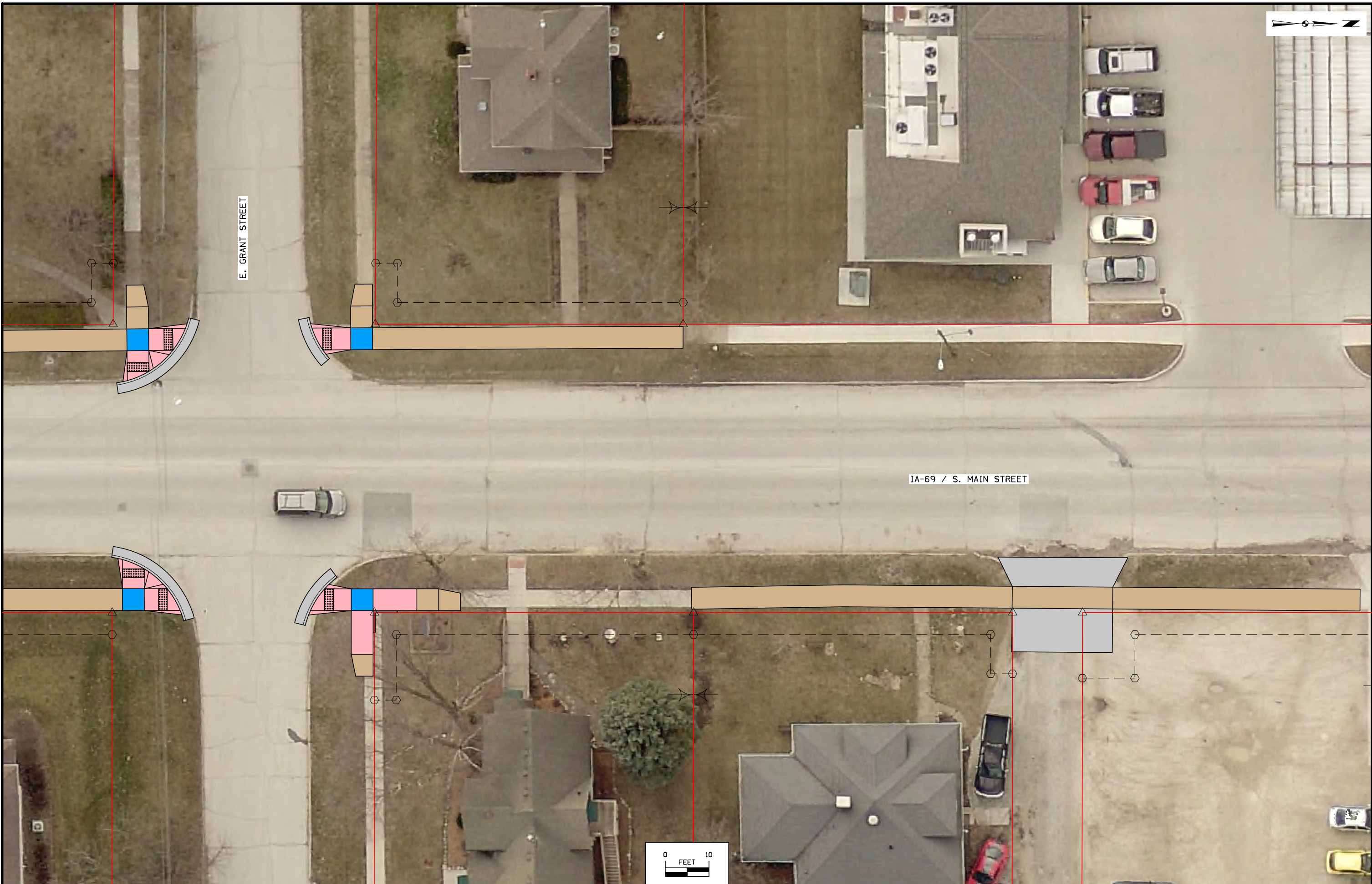
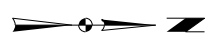
IA-69 / S. MAIN STREET





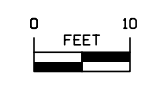
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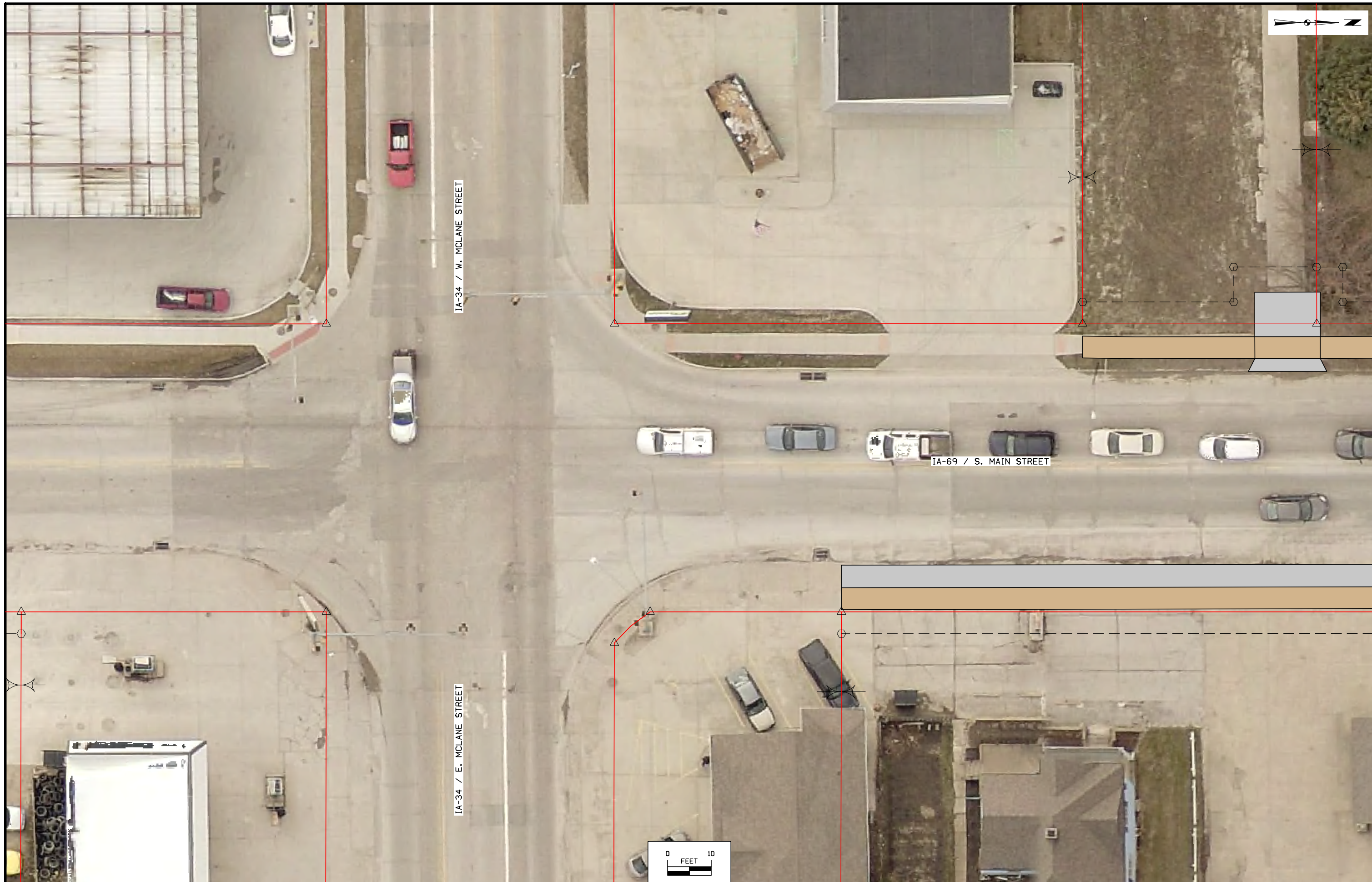


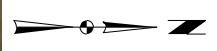
E. GRANT STREET

IA-69 / S. MAIN STREET

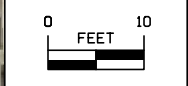


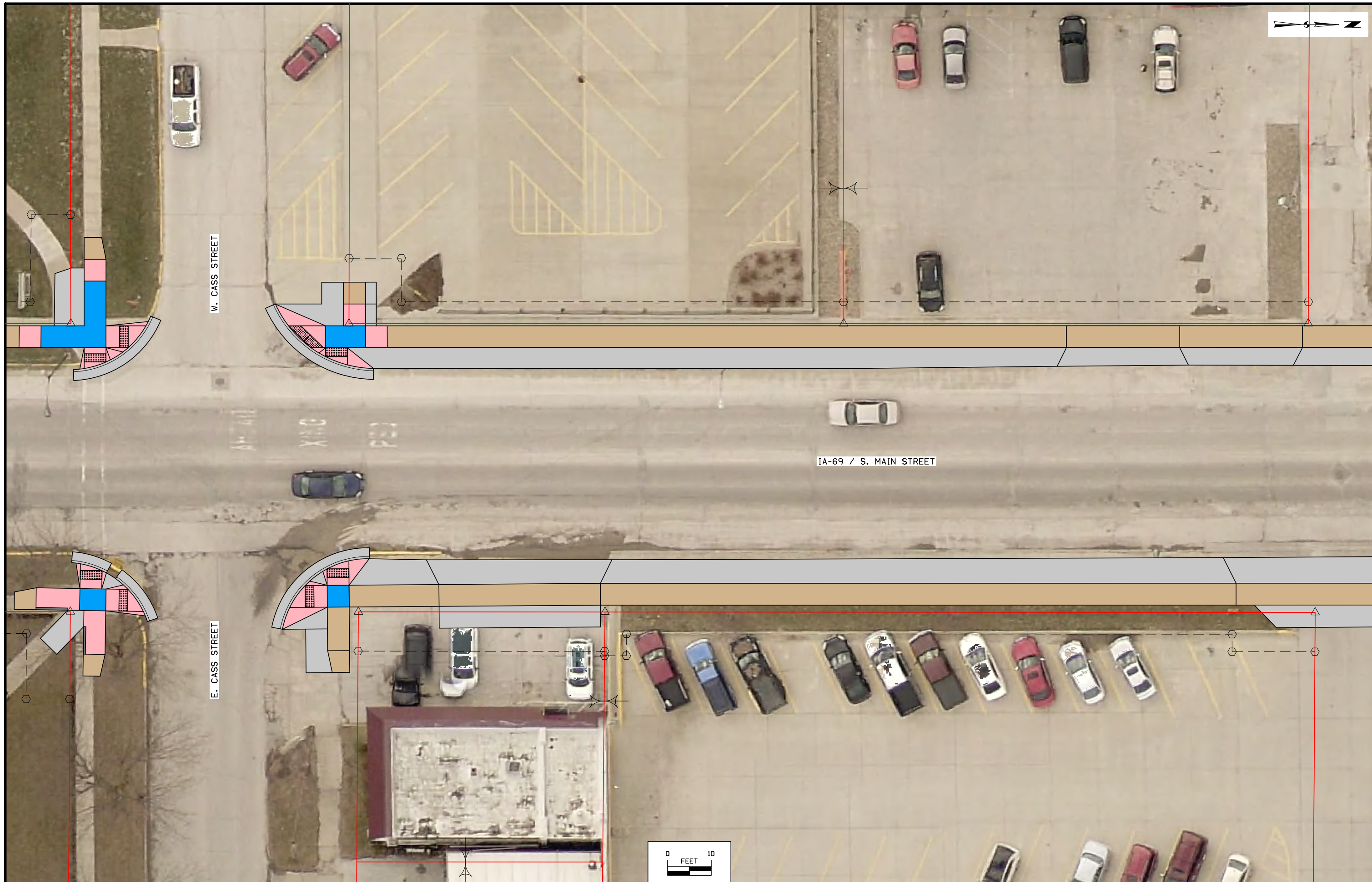
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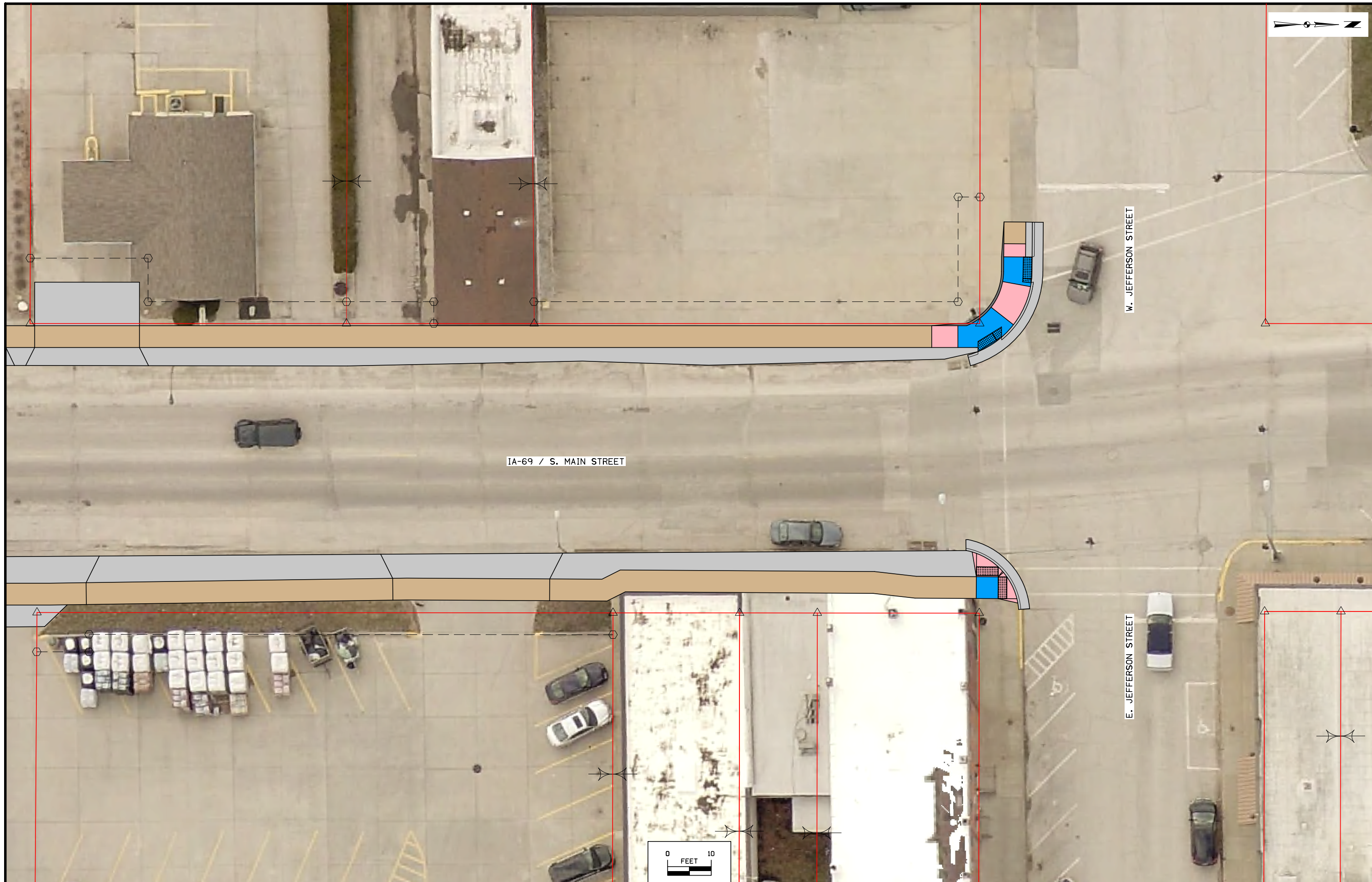




IA-69 / S. MAIN STREET

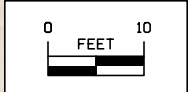








IA-69 / S. MAIN STREET



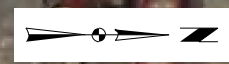
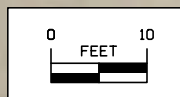
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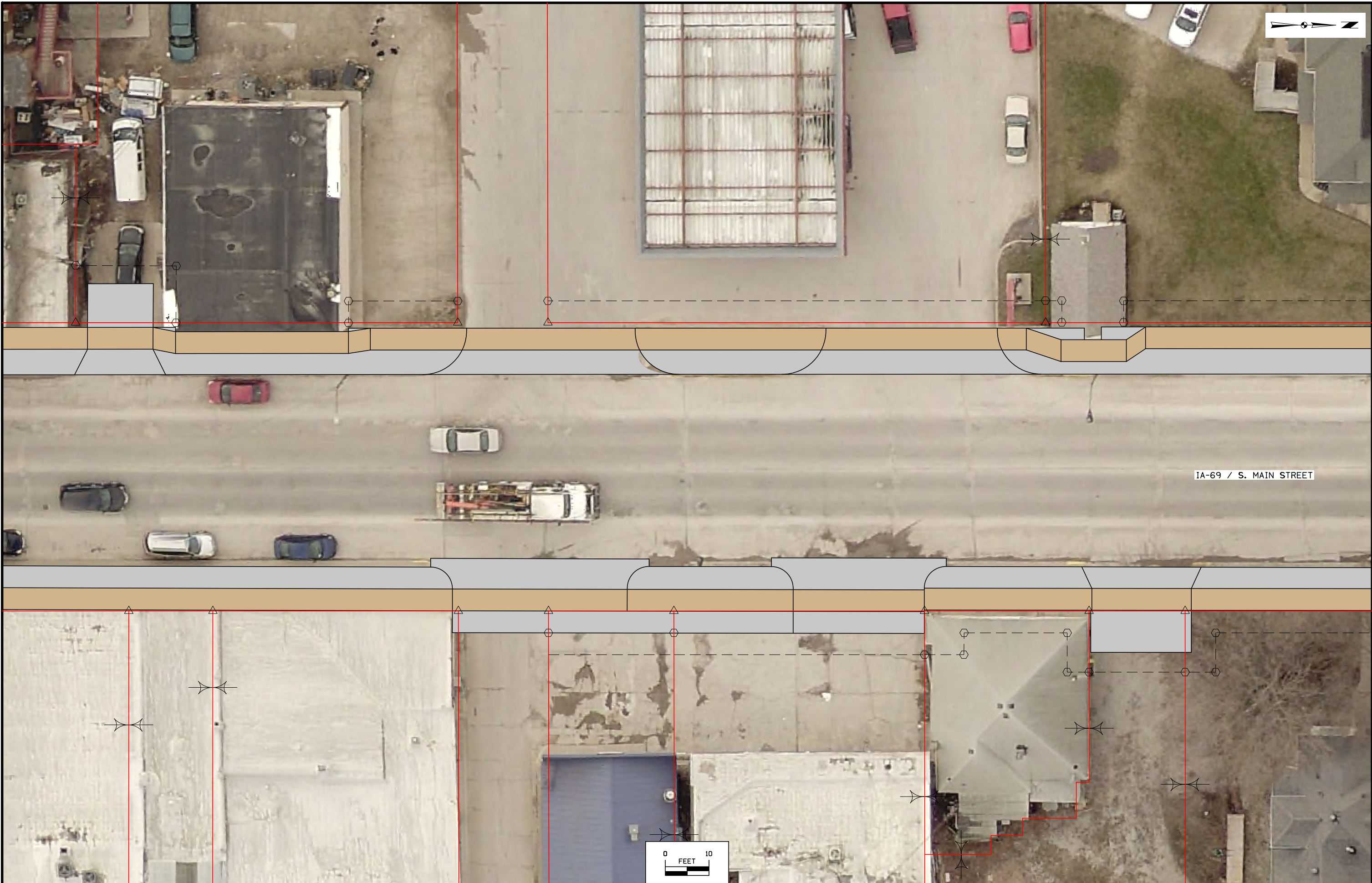


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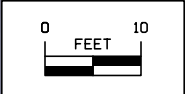
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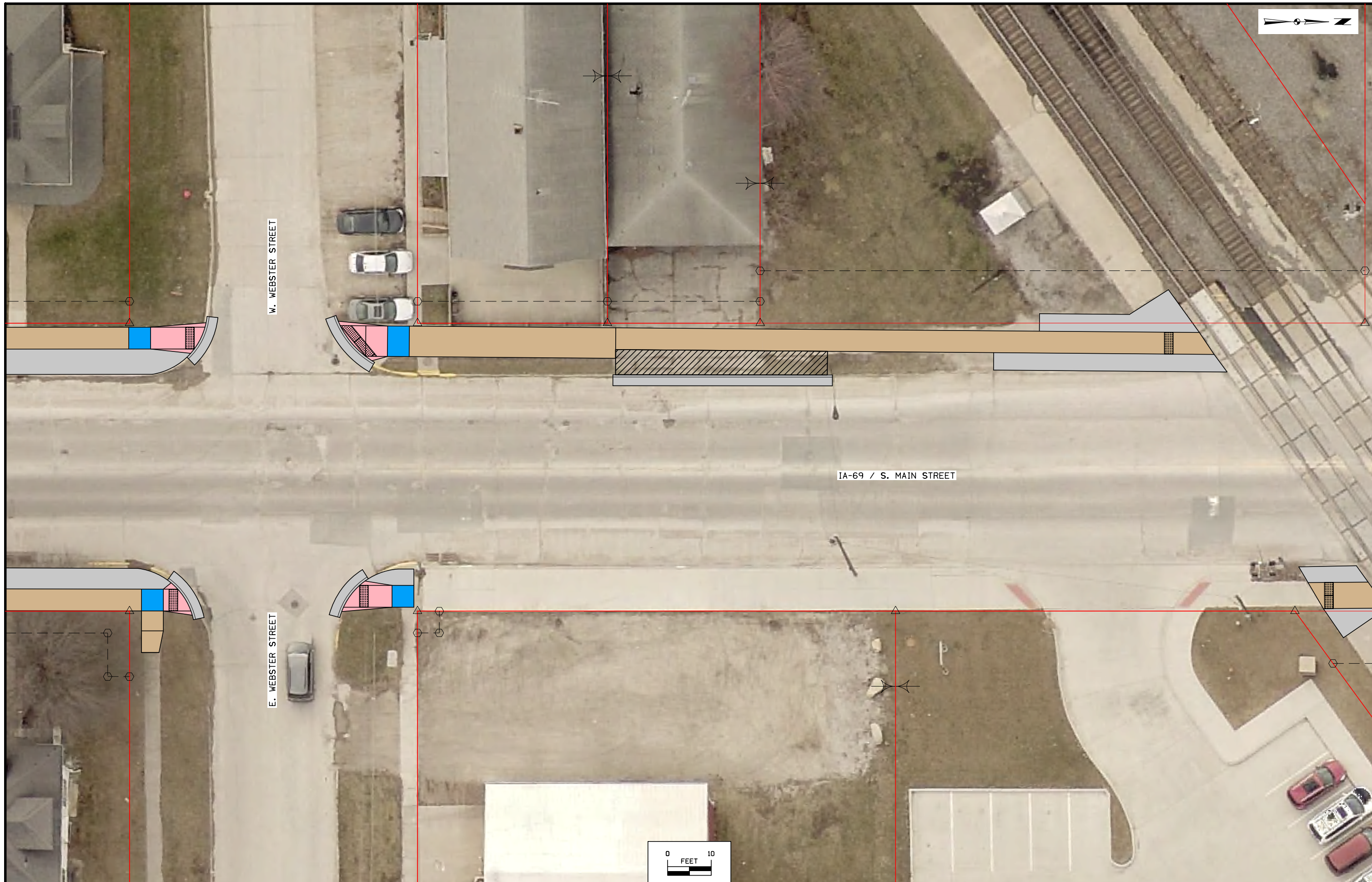
E. WASHINGTON STREET





IA-69 / S. MAIN STREET

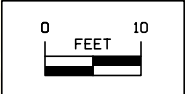


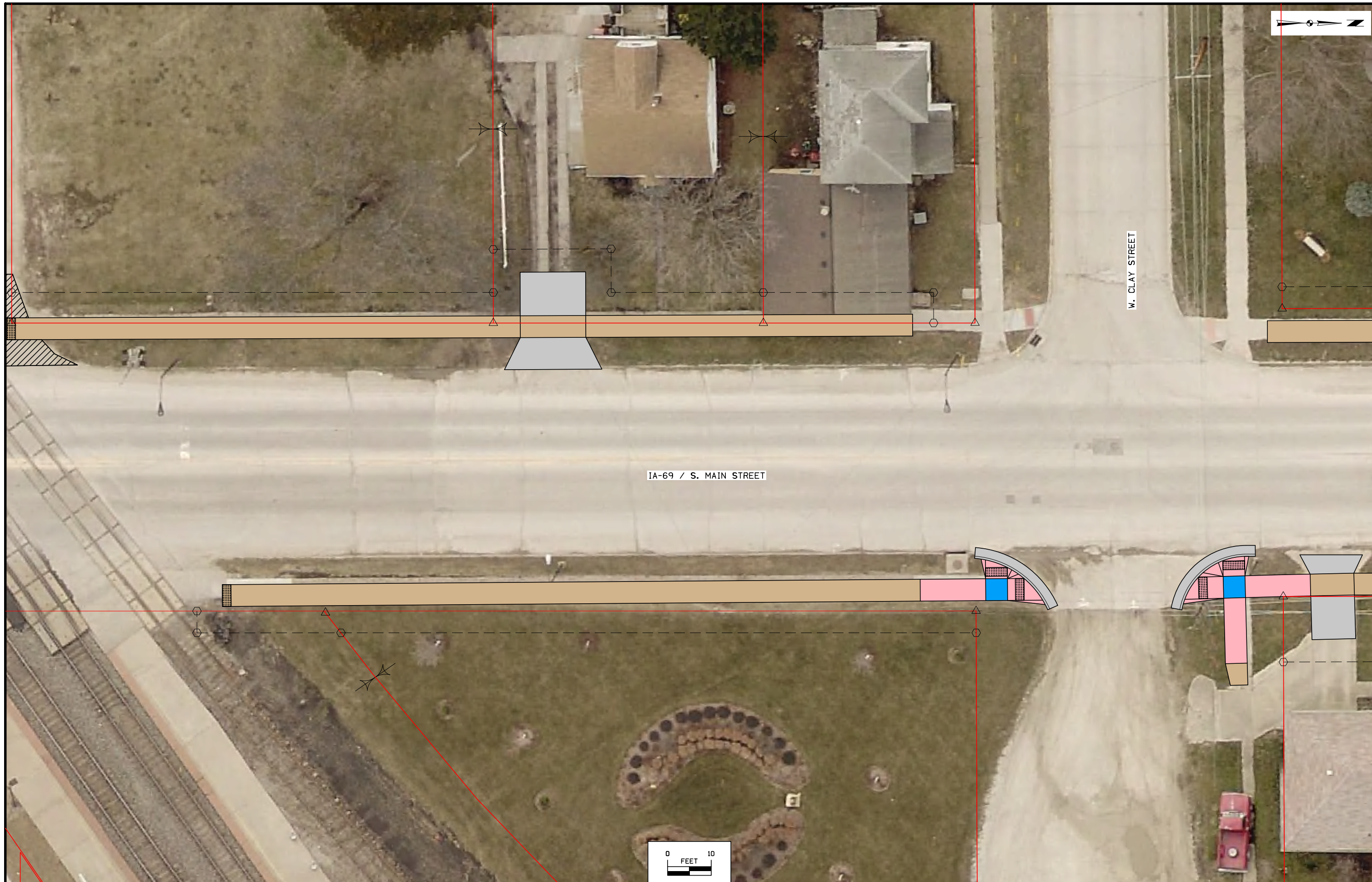


W. WEBSTER STREET

IA-69 / S. MAIN STREET

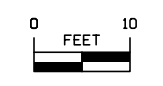
E. WEBSTER STREET



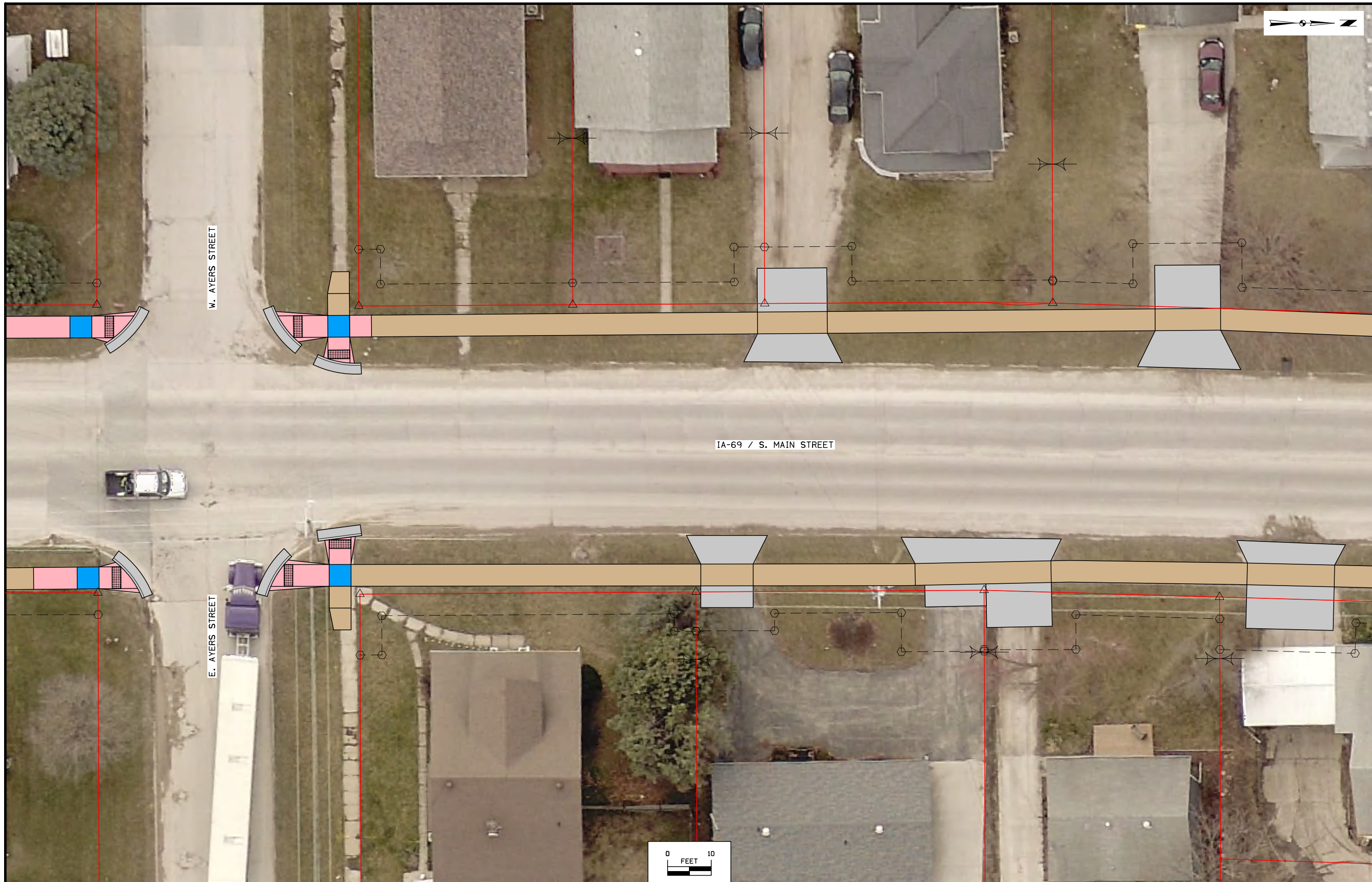




IA-69 / S. MAIN STREET



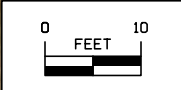
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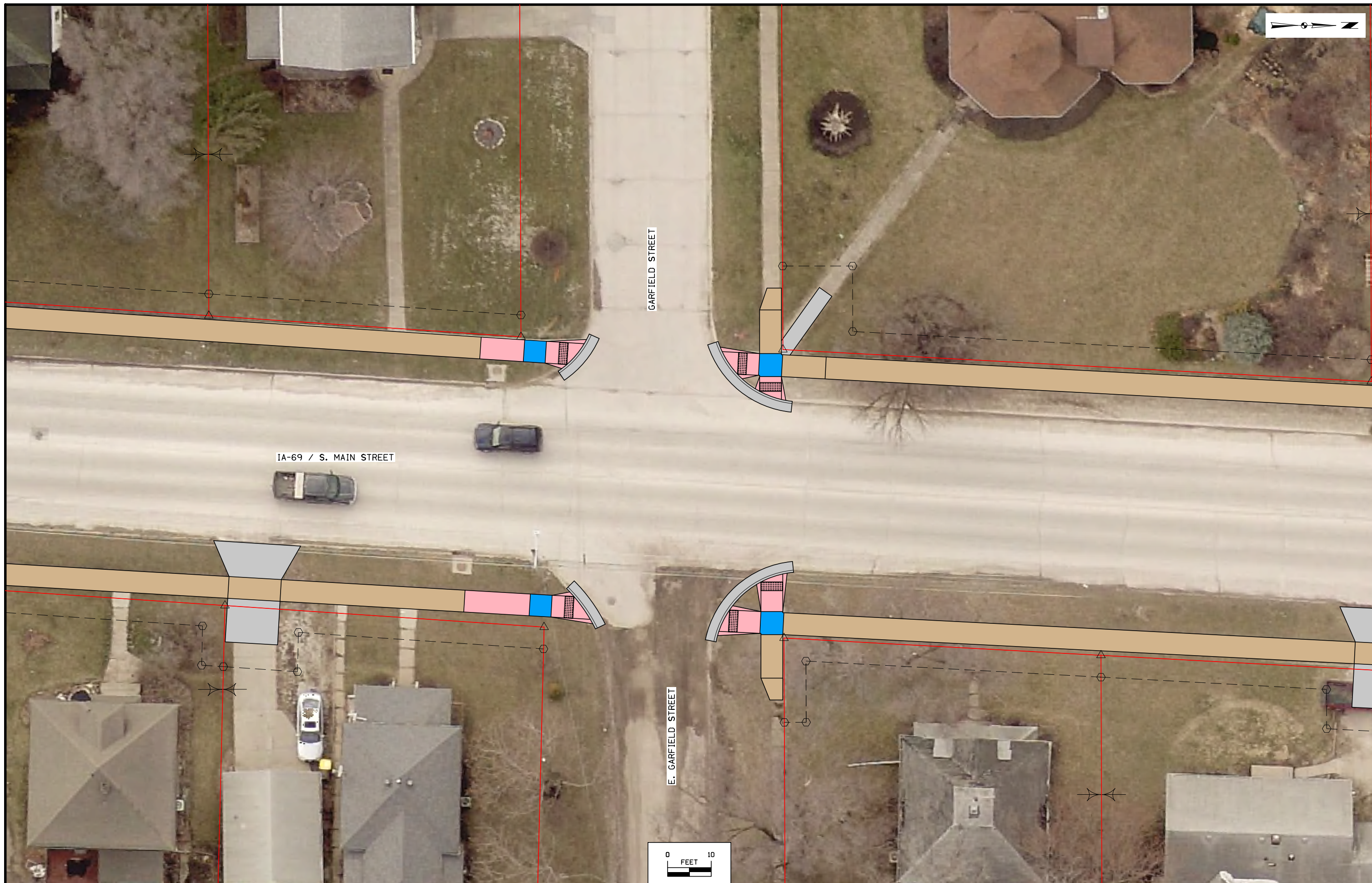
W. AYERS STREET

IA-69 / S. MAIN STREET

E. AYERS STREET



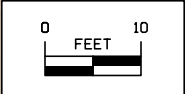


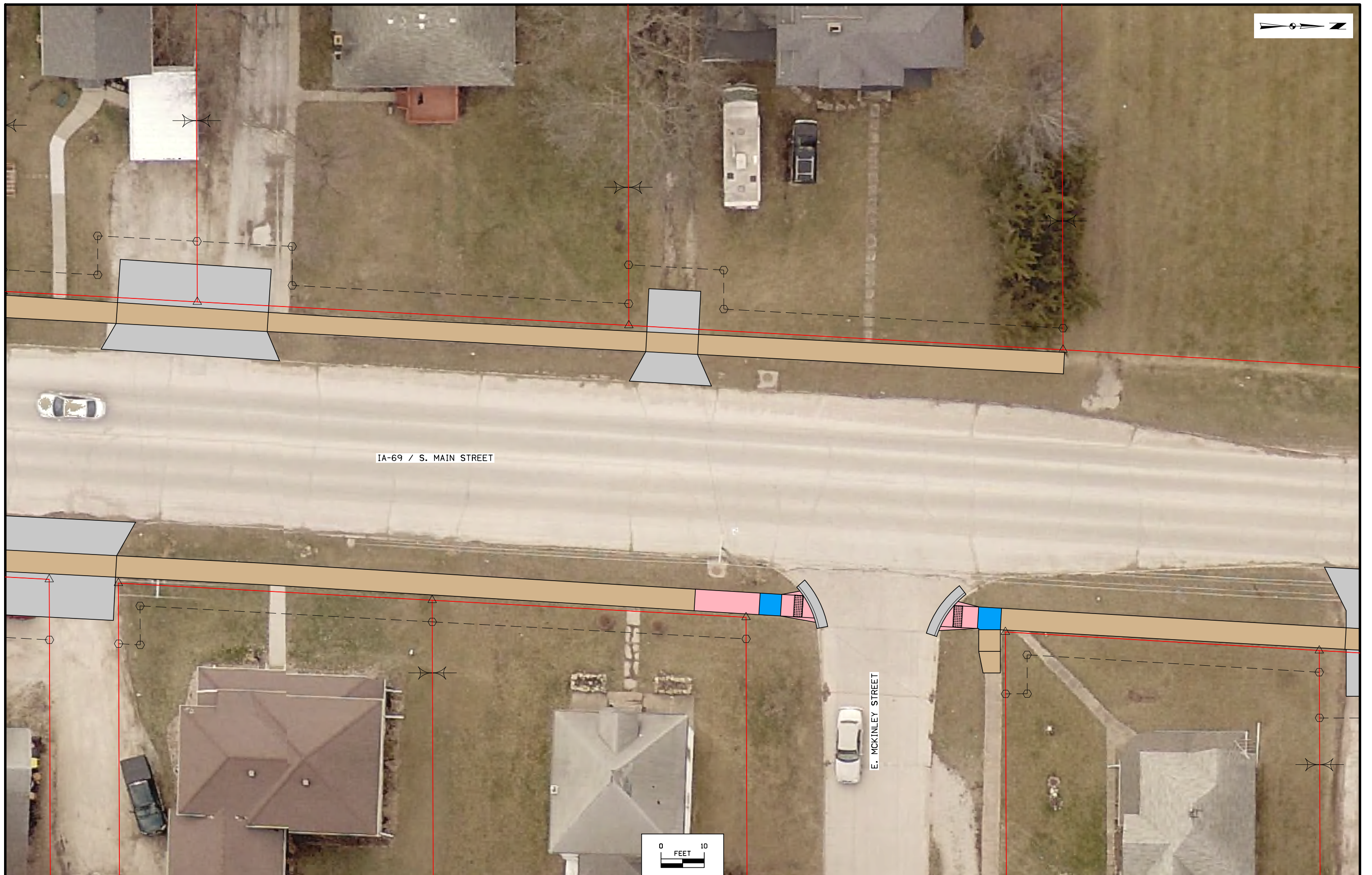


GARFIELD STREET

IA-69 / S. MAIN STREET

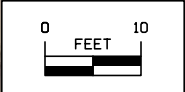
E. GARFIELD STREET





IA-69 / S. MAIN STREET

E. MCKINLEY STREET

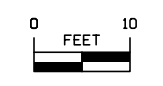


FILE NO.	ENGLISH	DESIGN TEAM IowaDOT\Schemmer	CLARKE COUNTY	PROJECT NUMBER STPN-069-2(26)--2J-20	SHEET NUMBER D.19
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IA-69 / S. MAIN STREET



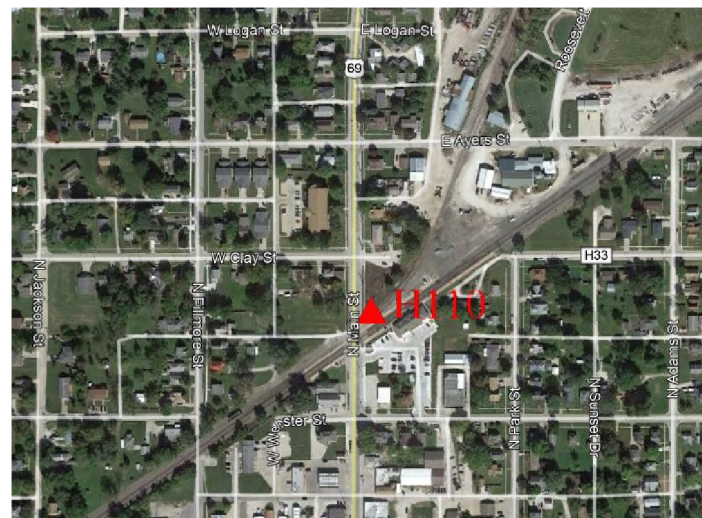
Survey Information
County: Clarke
PIN: 18-20-069-010
Project Number: STPN-069-2(26)--2J-20
Location: In City of Osceola (ADA - District 5)
Type of Work: PCC Sidewalk
Project Directory: 2006901018

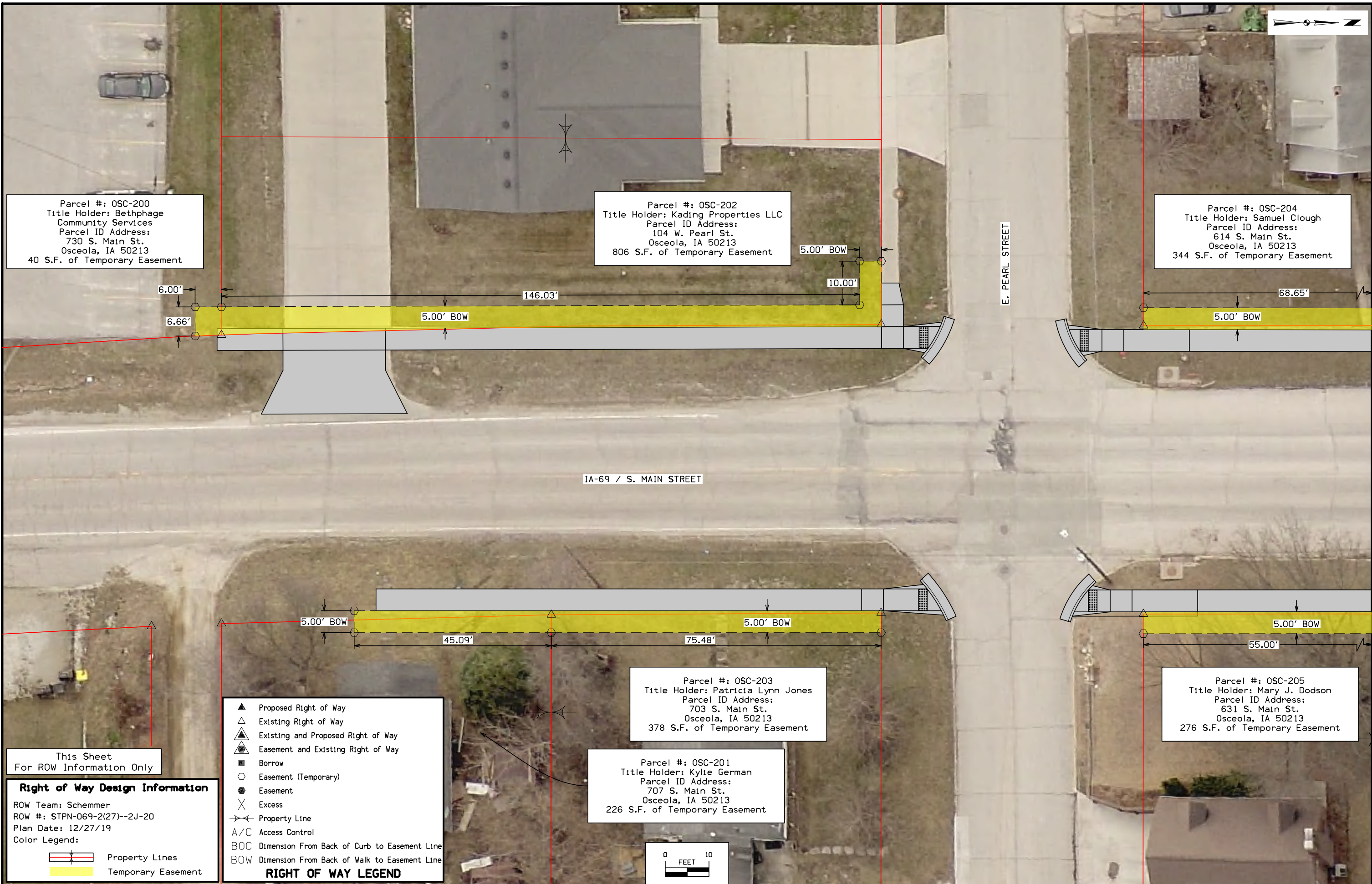
NOTE: The information included in this sheet is to enable locating ADA horizontal only stake points. Any other use of this information exceeds the intent of it. This information is provided to promote the efficient use of the Iowa Real-Time Network (IaRTN) with Global Navigation Satellite System (GNSS) equipment configured to the project coordinate system to stake out horizontal design point locations. Use of the IaRTN with GNSS equipment is used in place of survey control marks at the project site. The IaRTN reference stations are in essence the project control marks.

The geographic coordinate system used to perform the pre-design survey is Iowa Regional Coordinate System Zone 12. This coordinate system was used for design and must be configured into GNSS equipment to stake points for this project. Two local marks have been designated for future use to validate GNSS equipment results. These marks can be used to validate results while staking design points.

ELEVATION NOTE: ADA construction requires laying out plan slopes from the gutter line of the roadway. Therefore elevation datum for each ADA ramp is the gutter. Because elevation datum to be used is an existing topographic feature at the date of construction a predetermined elevation of that feature or local benchmark elevations are irrelevant and not included with this information.

Validation Point H110
NORTHWEST CORNER OF THE BRICK DEPOT, NORTHEAST OF THE
ROAD CROSSING, 54 FEET EAST OF THE CENTERLINE OF U.S.
HIGHWAY 69, 30 FEET NORTH OF THE CENTERLINE OF THE NORTH
MAIN TRACK, 10 FEET NORTH OF A SIDE TRACK HEADED NORTH,
AND 1 FOOT SOUTH OF A CARSONITE WITNESS POST.
IaRCS ZONE 12
N=6243931.15
E=22495729.68





Parcel #: OSC-200
 Title Holder: Bethphage
 Community Services
 Parcel ID Address:
 730 S. Main St.
 Osceola, IA 50213
 40 S.F. of Temporary Easement

Parcel #: OSC-202
 Title Holder: Kading Properties LLC
 Parcel ID Address:
 104 W. Pearl St.
 Osceola, IA 50213
 806 S.F. of Temporary Easement

Parcel #: OSC-204
 Title Holder: Samuel Clough
 Parcel ID Address:
 614 S. Main St.
 Osceola, IA 50213
 344 S.F. of Temporary Easement

Parcel #: OSC-203
 Title Holder: Patricia Lynn Jones
 Parcel ID Address:
 703 S. Main St.
 Osceola, IA 50213
 378 S.F. of Temporary Easement

Parcel #: OSC-201
 Title Holder: Kylie German
 Parcel ID Address:
 707 S. Main St.
 Osceola, IA 50213
 226 S.F. of Temporary Easement

Parcel #: OSC-205
 Title Holder: Mary J. Dodson
 Parcel ID Address:
 631 S. Main St.
 Osceola, IA 50213
 276 S.F. of Temporary Easement

This Sheet
 For ROW Information Only

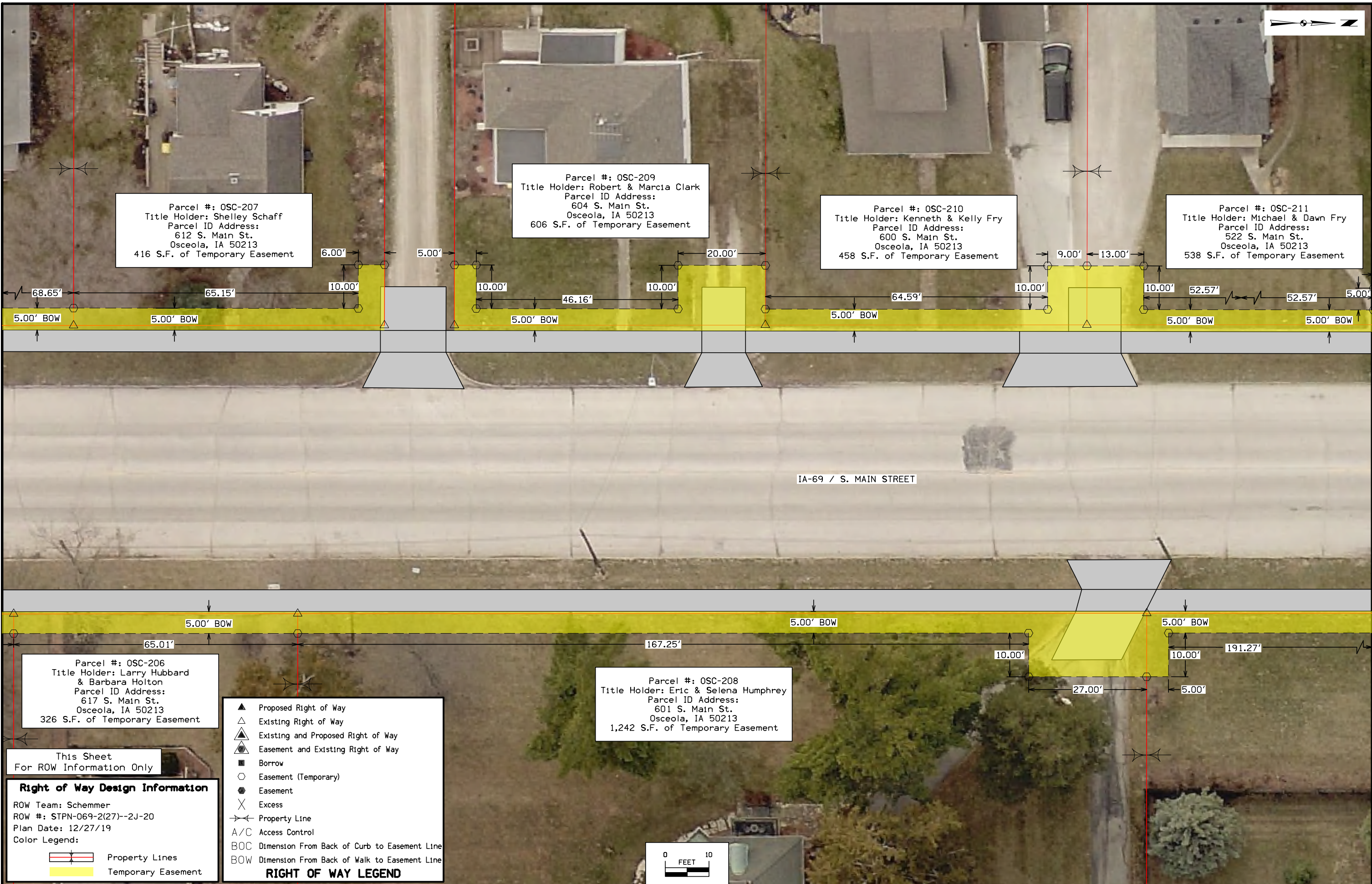
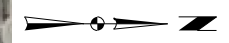
Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

- Property Lines
- Temporary Easement

- Proposed Right of Way
 - Existing Right of Way
 - Existing and Proposed Right of Way
 - Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - Easement
 - Excess
 - Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line
- RIGHT OF WAY LEGEND**





Parcel #: OSC-207
 Title Holder: Shelley Schaff
 Parcel ID Address:
 612 S. Main St.
 Osceola, IA 50213
 416 S.F. of Temporary Easement

Parcel #: OSC-209
 Title Holder: Robert & Marcia Clark
 Parcel ID Address:
 604 S. Main St.
 Osceola, IA 50213
 606 S.F. of Temporary Easement

Parcel #: OSC-210
 Title Holder: Kenneth & Kelly Fry
 Parcel ID Address:
 600 S. Main St.
 Osceola, IA 50213
 458 S.F. of Temporary Easement

Parcel #: OSC-211
 Title Holder: Michael & Dawn Fry
 Parcel ID Address:
 522 S. Main St.
 Osceola, IA 50213
 538 S.F. of Temporary Easement

68.65' 65.15' 10.00' 6.00' 5.00' 10.00' 46.16' 10.00' 20.00' 64.59' 10.00' 9.00' 13.00' 10.00' 52.57' 52.57' 5.00'

5.00' BOW 5.00' BOW 5.00' BOW 5.00' BOW 5.00' BOW 5.00' BOW 5.00' BOW 5.00' BOW

IA-69 / S. MAIN STREET

5.00' BOW 65.01' 167.25' 10.00' 27.00' 10.00' 5.00' BOW 191.27' 5.00' BOW

Parcel #: OSC-206
 Title Holder: Larry Hubbard
 & Barbara Holton
 Parcel ID Address:
 617 S. Main St.
 Osceola, IA 50213
 326 S.F. of Temporary Easement

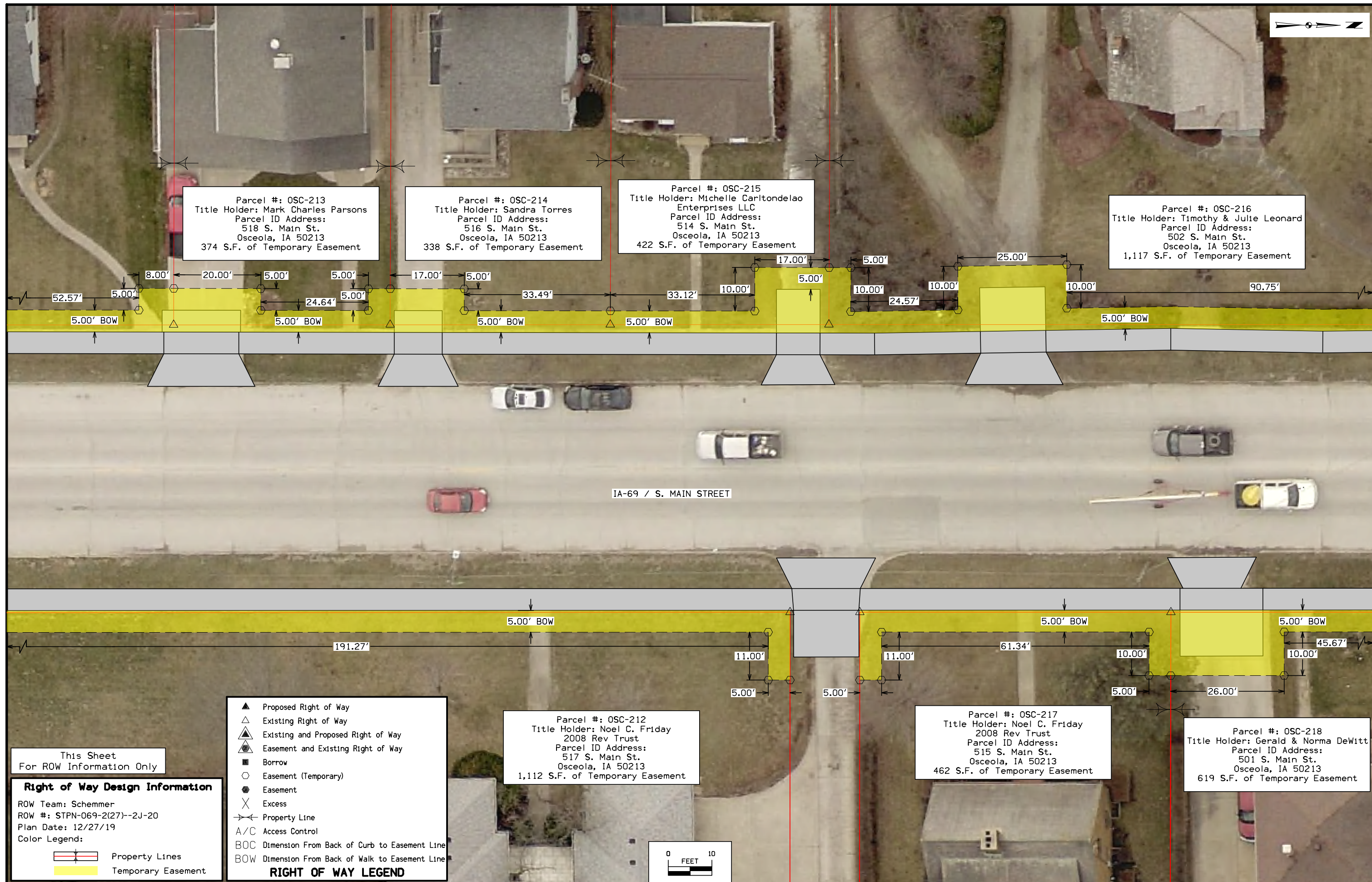
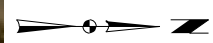
Parcel #: OSC-208
 Title Holder: Eric & Selena Humphrey
 Parcel ID Address:
 601 S. Main St.
 Osceola, IA 50213
 1,242 S.F. of Temporary Easement

This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND
 Proposed Right of Way
 Existing Right of Way
 Existing and Proposed Right of Way
 Easement and Existing Right of Way
 Borrow
 Easement (Temporary)
 Easement
 Excess
 Property Line
 Access Control
 BOC Dimension From Back of Curb to Easement Line
 BOW Dimension From Back of Walk to Easement Line





Parcel #: OSC-213
 Title Holder: Mark Charles Parsons
 Parcel ID Address:
 518 S. Main St.
 Osceola, IA 50213
 374 S.F. of Temporary Easement

Parcel #: OSC-214
 Title Holder: Sandra Torres
 Parcel ID Address:
 516 S. Main St.
 Osceola, IA 50213
 338 S.F. of Temporary Easement

Parcel #: OSC-215
 Title Holder: Michelle Carltondelao
 Enterprises LLC
 Parcel ID Address:
 514 S. Main St.
 Osceola, IA 50213
 422 S.F. of Temporary Easement

Parcel #: OSC-216
 Title Holder: Timothy & Julie Leonard
 Parcel ID Address:
 502 S. Main St.
 Osceola, IA 50213
 1,117 S.F. of Temporary Easement

Parcel #: OSC-212
 Title Holder: Noel C. Friday
 2008 Rev Trust
 Parcel ID Address:
 517 S. Main St.
 Osceola, IA 50213
 1,112 S.F. of Temporary Easement

Parcel #: OSC-217
 Title Holder: Noel C. Friday
 2008 Rev Trust
 Parcel ID Address:
 515 S. Main St.
 Osceola, IA 50213
 462 S.F. of Temporary Easement

Parcel #: OSC-218
 Title Holder: Gerald & Norma DeWitt
 Parcel ID Address:
 501 S. Main St.
 Osceola, IA 50213
 619 S.F. of Temporary Easement

This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19

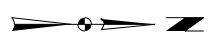
Color Legend:

Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND

- Proposed Right of Way
- Existing Right of Way
- Existing and Proposed Right of Way
- Easement and Existing Right of Way
- Borrow
- Easement (Temporary)
- Easement
- Excess
- Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line



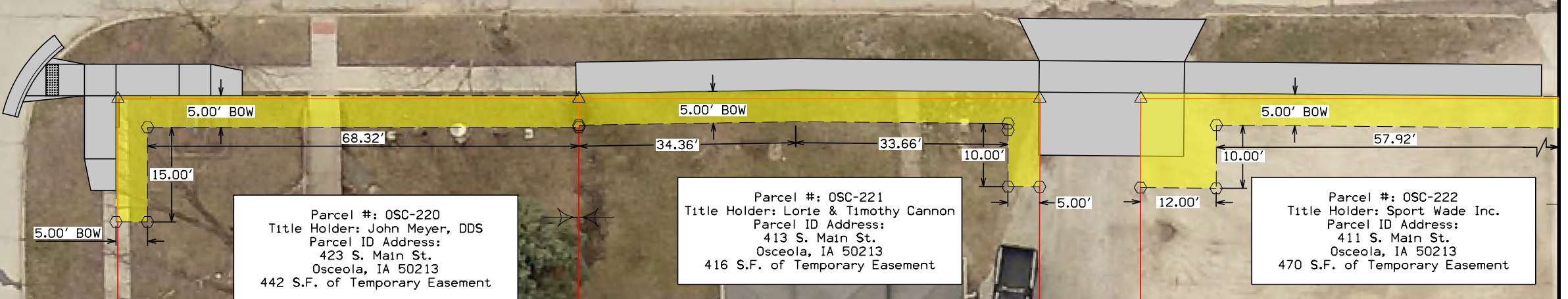
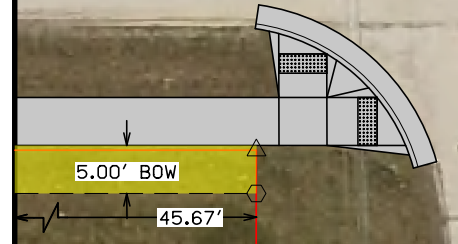
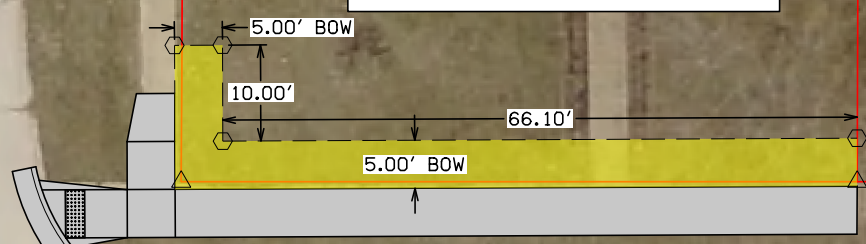
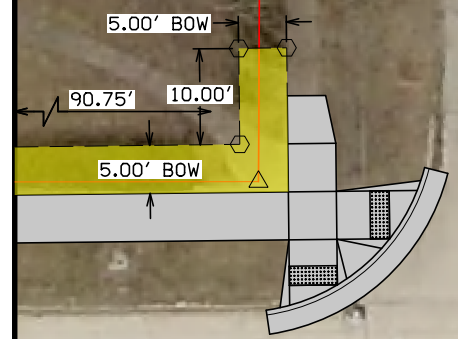


Parcel #: OSC-219
 Title Holder: Elizabeth Richter
 Parcel ID Address:
 422 S. Main St.
 Osceola, IA 50213
 406 S.F. of Temporary Easement

Parcel #: OSC-220
 Title Holder: John Meyer, DDS
 Parcel ID Address:
 423 S. Main St.
 Osceola, IA 50213
 442 S.F. of Temporary Easement

Parcel #: OSC-221
 Title Holder: Lorie & Timothy Cannon
 Parcel ID Address:
 413 S. Main St.
 Osceola, IA 50213
 416 S.F. of Temporary Easement

Parcel #: OSC-222
 Title Holder: Sport Wade Inc.
 Parcel ID Address:
 411 S. Main St.
 Osceola, IA 50213
 470 S.F. of Temporary Easement



E. GRANT STREET

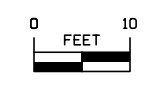
IA-69 / S. MAIN STREET

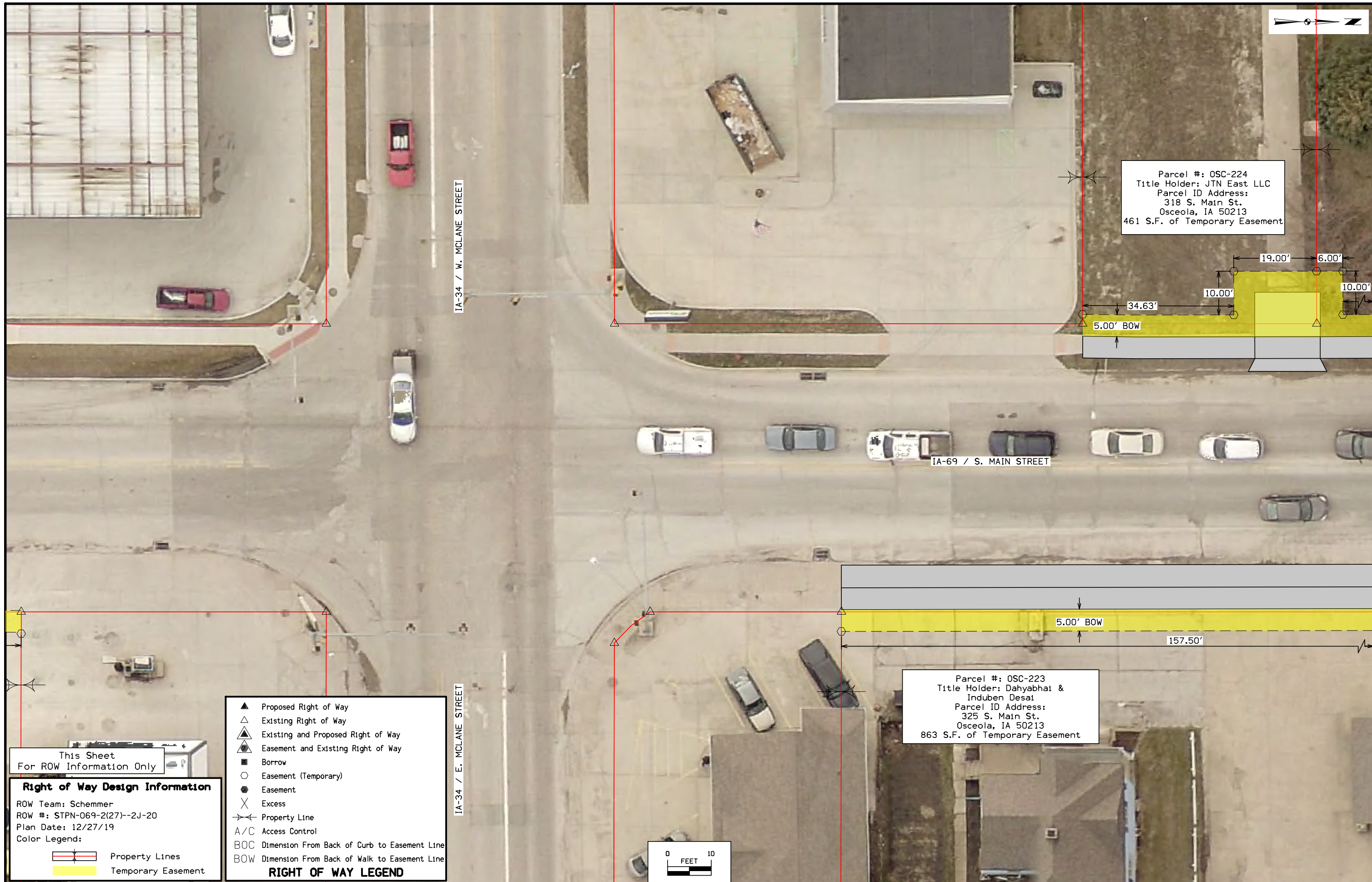
This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND

- ▲ Proposed Right of Way
- △ Existing Right of Way
- ▲ Existing and Proposed Right of Way
- ⊕ Easement and Existing Right of Way
- Borrow
- Easement (Temporary)
- ⊗ Easement
- ✕ Excess
- Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line





Parcel #: OSC-224
 Title Holder: JTN East LLC
 Parcel ID Address:
 318 S. Main St.
 Osceola, IA 50213
 461 S.F. of Temporary Easement

IA-69 / S. MAIN STREET

IA-34 / W. MCLANE STREET

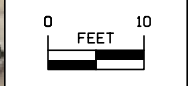
IA-34 / E. MCLANE STREET

Parcel #: OSC-223
 Title Holder: Dahyabhai &
 Induben Desai
 Parcel ID Address:
 325 S. Main St.
 Osceola, IA 50213
 863 S.F. of Temporary Easement

This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement

- RIGHT OF WAY LEGEND**
- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - ✂ Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line



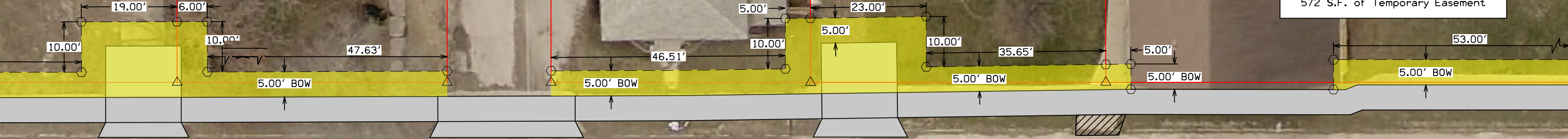


Parcel #: OSC-225
 Title Holder: Maria Cisneros
 Parcel ID Address:
 316 S. Main St.
 Osceola, IA 50213
 329 S.F. of Temporary Easement

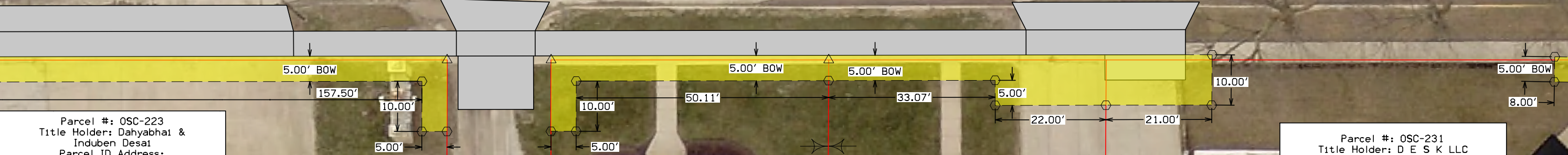
Parcel #: OSC-226
 Title Holder: Courtland Pfaff
 Parcel ID Address:
 314 S. Main St.
 Osceola, IA 50213
 311 S.F. of Temporary Easement

Parcel #: OSC-228
 Title Holder: Christian Church
 Parcel ID Address:
 304 S. Main St.
 Osceola, IA 50213
 524 S.F. of Temporary Easement

Parcel #: OSC-230
 Title Holder: Christian Church
 Parcel ID Address:
 300 S. Main St.
 Osceola, IA 50213
 572 S.F. of Temporary Easement



IA-69 / S. MAIN STREET



Parcel #: OSC-223
 Title Holder: Dahyabhai & Induben Desai
 Parcel ID Address:
 325 S. Main St.
 Osceola, IA 50213
 863 S.F. of Temporary Easement

Parcel #: OSC-227
 Title Holder: D E S K LLC
 Parcel ID Address:
 315 S. Main St.
 Osceola, IA 50213
 326 S.F. of Temporary Easement

Parcel #: OSC-229
 Title Holder: Kale Funeral Home
 Parcel ID Address:
 311 S. Main St.
 Osceola, IA 50213
 386 S.F. of Temporary Easement

Parcel #: OSC-231
 Title Holder: D E S K LLC
 Parcel ID Address:
 301 S. Main St.
 Osceola, IA 50213
 300 S.F. of Temporary Easement

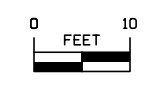
- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - ↔ Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line
- RIGHT OF WAY LEGEND**

This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

Property Lines
 Temporary Easement



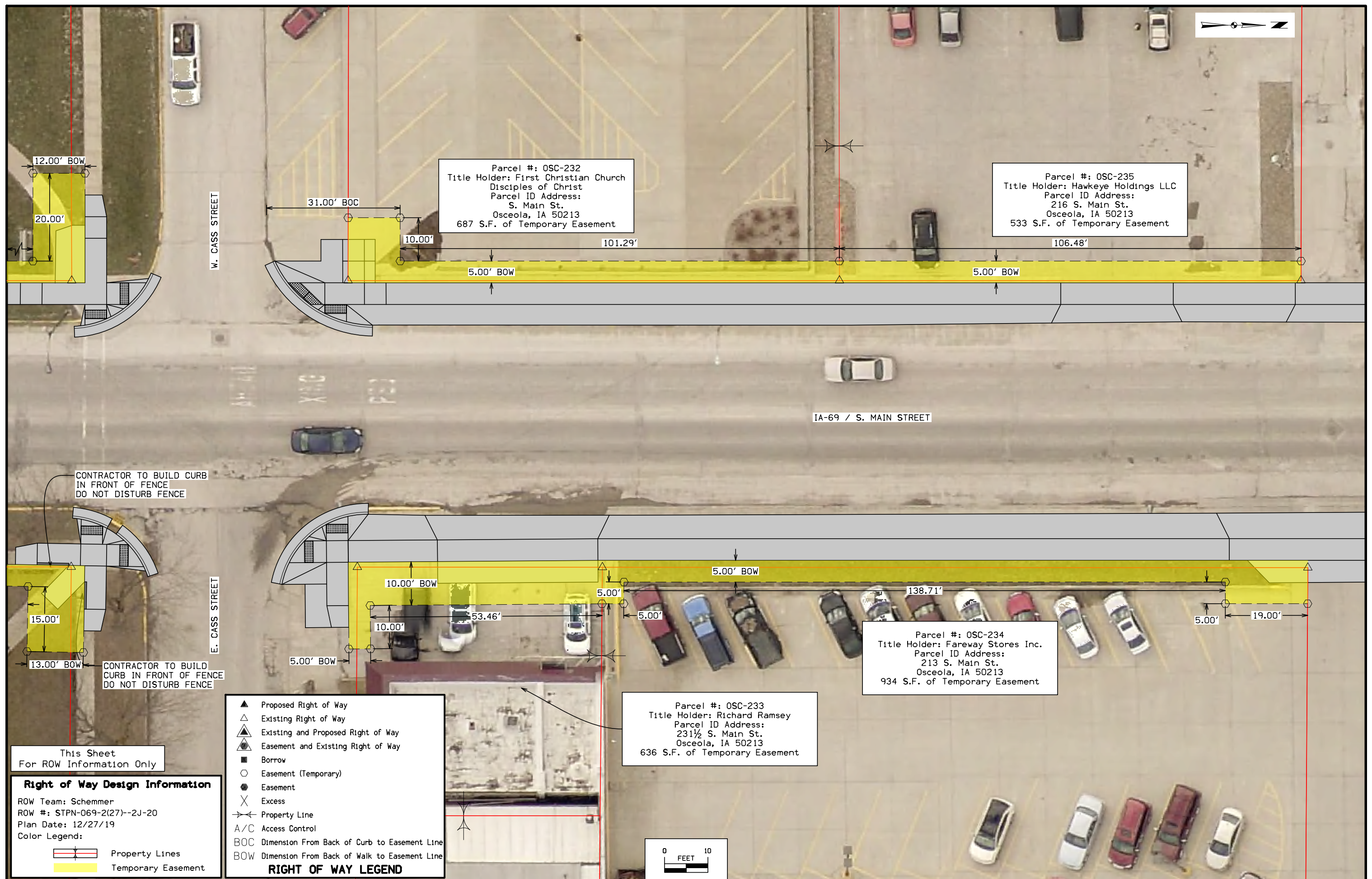


Parcel #: OSC-232
 Title Holder: First Christian Church
 Disciples of Christ
 Parcel ID Address:
 S. Main St.
 Osceola, IA 50213
 687 S.F. of Temporary Easement

Parcel #: OSC-235
 Title Holder: Hawkeye Holdings LLC
 Parcel ID Address:
 216 S. Main St.
 Osceola, IA 50213
 533 S.F. of Temporary Easement

Parcel #: OSC-234
 Title Holder: Fareway Stores Inc.
 Parcel ID Address:
 213 S. Main St.
 Osceola, IA 50213
 934 S.F. of Temporary Easement

Parcel #: OSC-233
 Title Holder: Richard Ramsey
 Parcel ID Address:
 231 1/2 S. Main St.
 Osceola, IA 50213
 636 S.F. of Temporary Easement



CONTRACTOR TO BUILD CURB
 IN FRONT OF FENCE
 DO NOT DISTURB FENCE

CONTRACTOR TO BUILD CURB
 IN FRONT OF FENCE
 DO NOT DISTURB FENCE

This Sheet
 For ROW Information Only

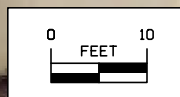
Right of Way Design Information

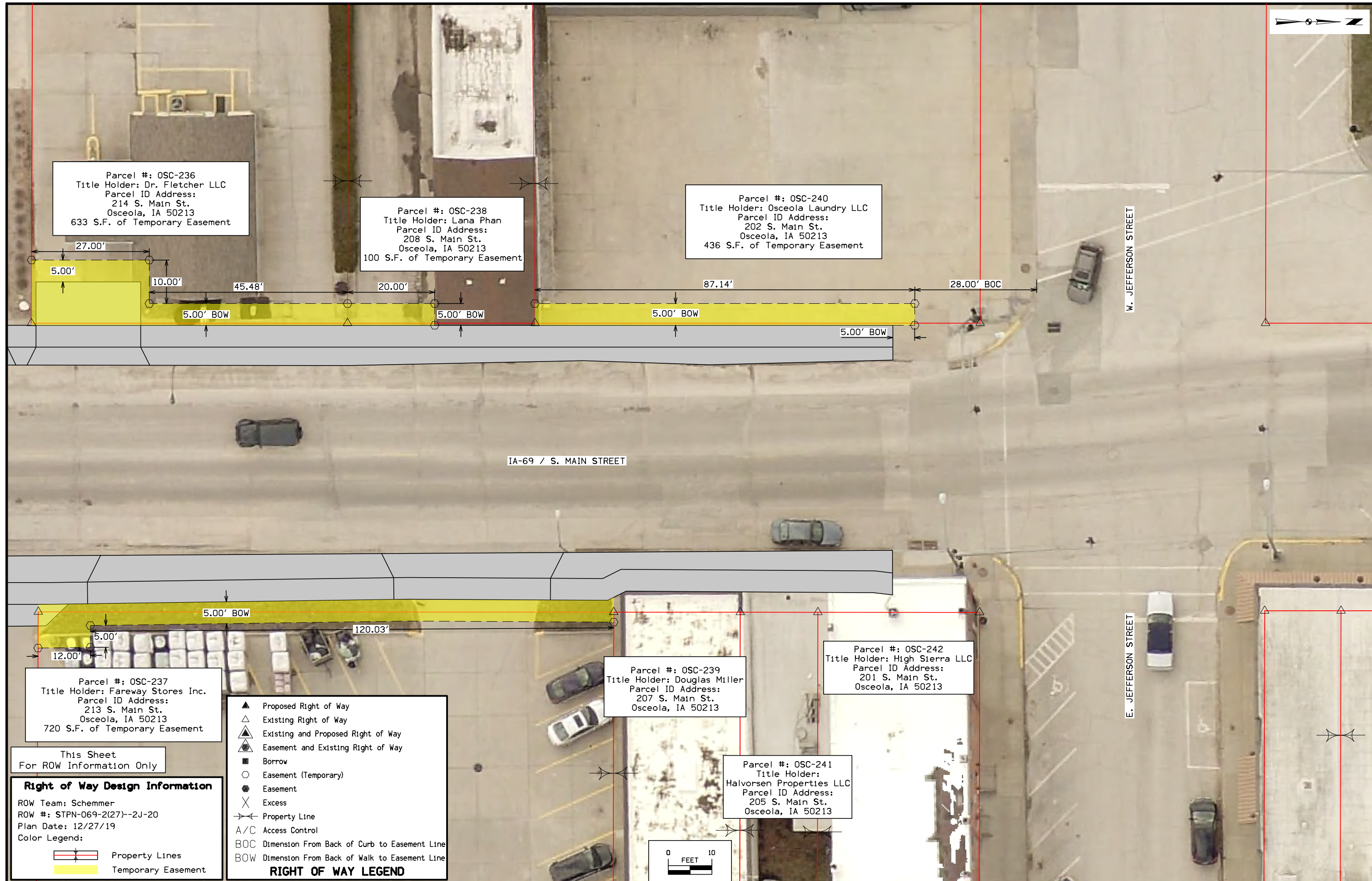
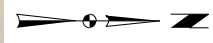
ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

	Property Lines
	Temporary Easement

RIGHT OF WAY LEGEND

- Proposed Right of Way
- Existing Right of Way
- Existing and Proposed Right of Way
- Easement and Existing Right of Way
- Borrow
- Easement (Temporary)
- Easement
- Excess
- Property Line
- Access Control
- Dimension From Back of Curb to Easement Line
- Dimension From Back of Walk to Easement Line





Parcel #: OSC-236
 Title Holder: Dr. Fletcher LLC
 Parcel ID Address:
 214 S. Main St.
 Osceola, IA 50213
 633 S.F. of Temporary Easement

Parcel #: OSC-238
 Title Holder: Lana Phan
 Parcel ID Address:
 208 S. Main St.
 Osceola, IA 50213
 100 S.F. of Temporary Easement

Parcel #: OSC-240
 Title Holder: Osceola Laundry LLC
 Parcel ID Address:
 202 S. Main St.
 Osceola, IA 50213
 436 S.F. of Temporary Easement

Parcel #: OSC-237
 Title Holder: Fareway Stores Inc.
 Parcel ID Address:
 213 S. Main St.
 Osceola, IA 50213
 720 S.F. of Temporary Easement

Parcel #: OSC-239
 Title Holder: Douglas Miller
 Parcel ID Address:
 207 S. Main St.
 Osceola, IA 50213

Parcel #: OSC-242
 Title Holder: High Sierra LLC
 Parcel ID Address:
 201 S. Main St.
 Osceola, IA 50213

Parcel #: OSC-241
 Title Holder:
 Halvorsen Properties LLC
 Parcel ID Address:
 205 S. Main St.
 Osceola, IA 50213

RIGHT OF WAY LEGEND

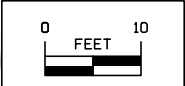
- ▲ Proposed Right of Way
- △ Existing Right of Way
- ▲△ Existing and Proposed Right of Way
- ⊕ Easement and Existing Right of Way
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- Easement (Temporary)
- ⊙ Easement
- ✕ Excess
- ⊗ Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line

This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

- Property Lines
- Temporary Easement





IA-69 / S. MAIN STREET

This Sheet
For ROW Information Only

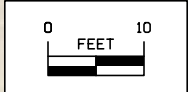
Right of Way Design Information

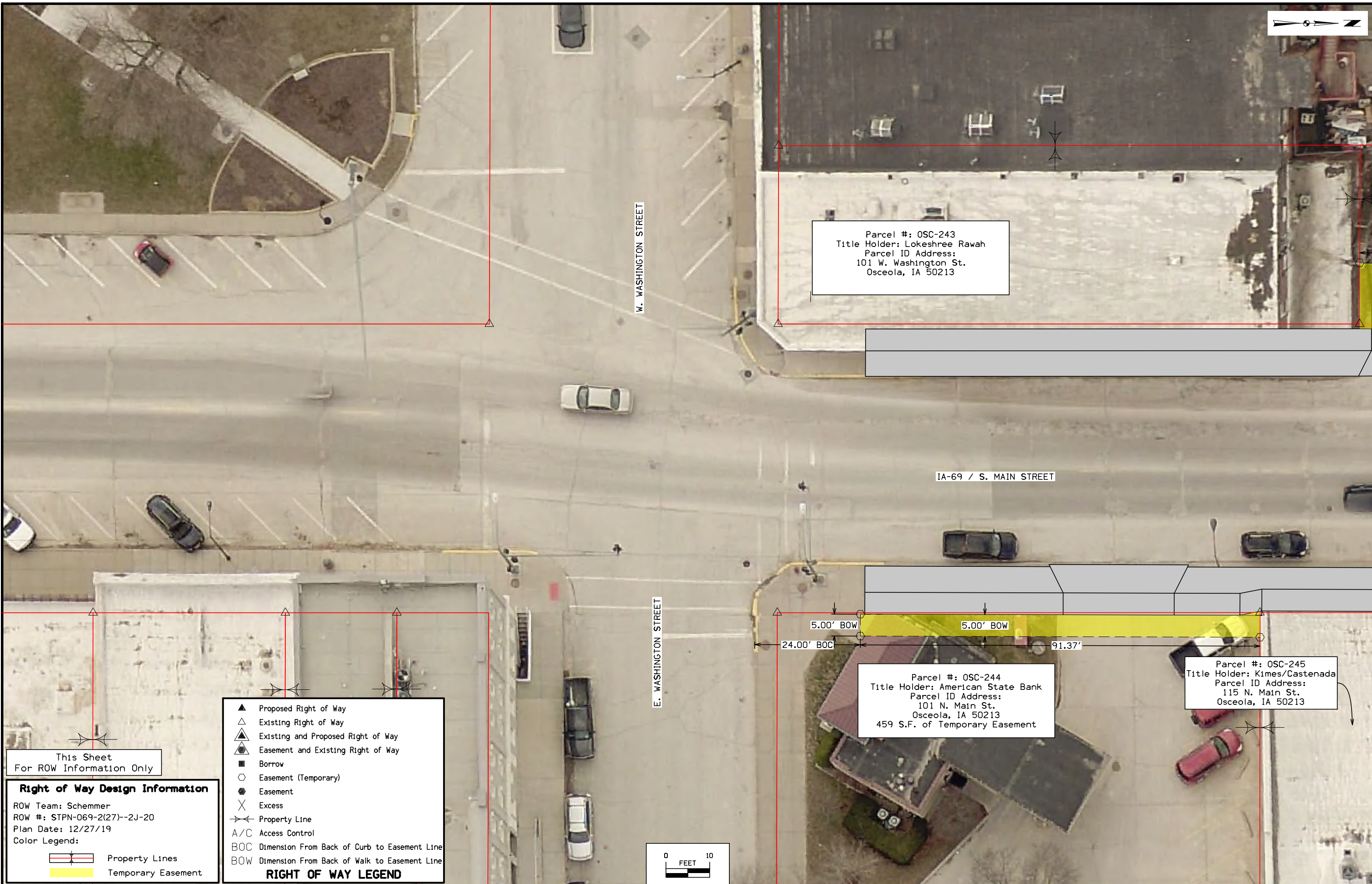
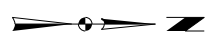
ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND

- Proposed Right of Way
- Existing Right of Way
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- Easement and Existing Right of Way
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- Easement
- Excess
- Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line




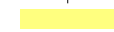


Parcel #: OSC-243
 Title Holder: Lokeshree Rawah
 Parcel ID Address:
 101 W. Washington St.
 Osceola, IA 50213

Parcel #: OSC-244
 Title Holder: American State Bank
 Parcel ID Address:
 101 N. Main St.
 Osceola, IA 50213
 459 S.F. of Temporary Easement

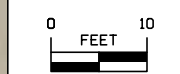
Parcel #: OSC-245
 Title Holder: Kimes/Casteneda
 Parcel ID Address:
 115 N. Main St.
 Osceola, IA 50213

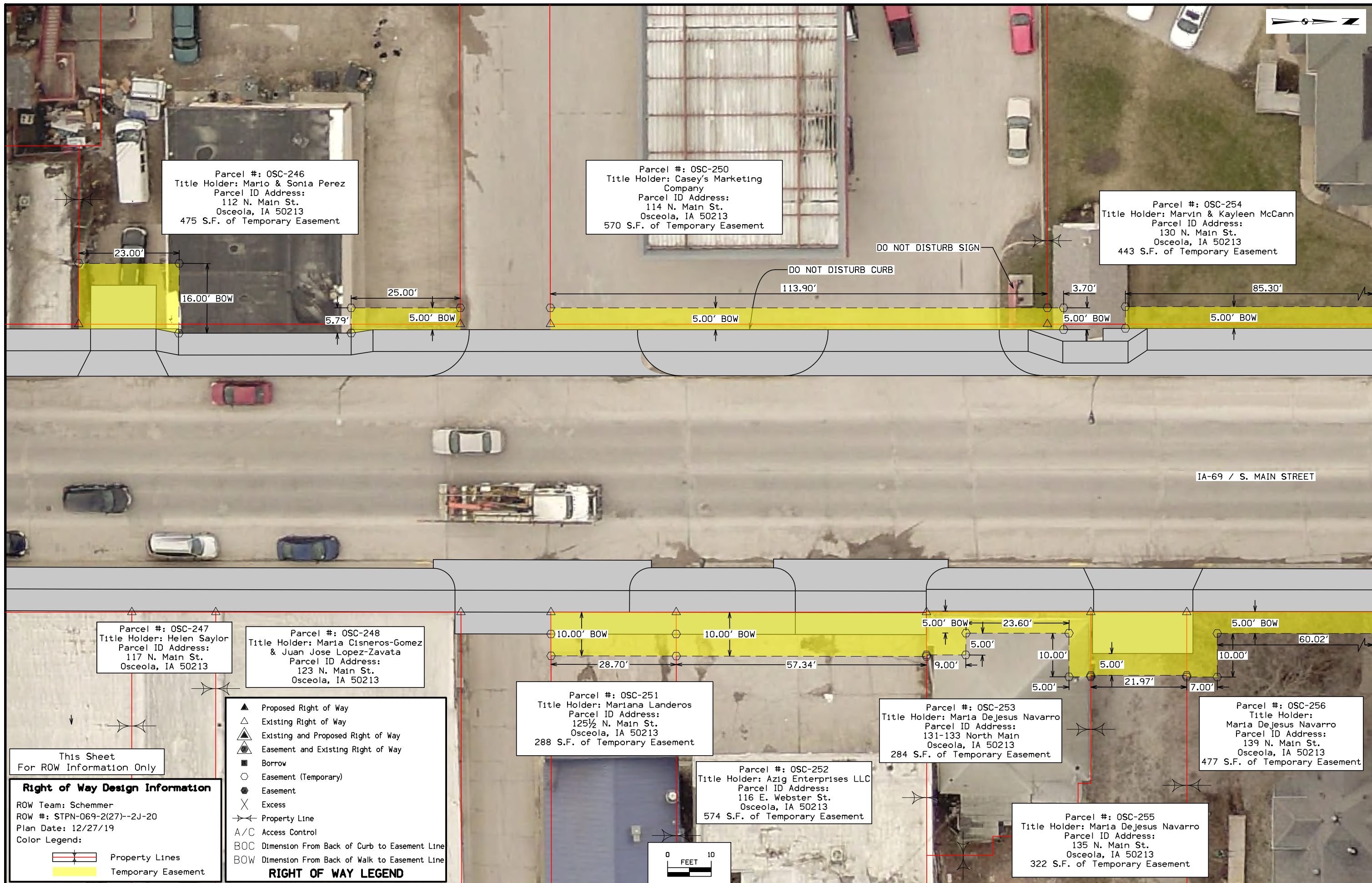
This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND

- ▲ Proposed Right of Way
- △ Existing Right of Way
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- Easement (Temporary)
- ⊙ Easement
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- Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line





Parcel #: OSC-246
 Title Holder: Mario & Sonia Perez
 Parcel ID Address:
 112 N. Main St.
 Osceola, IA 50213
 475 S.F. of Temporary Easement

Parcel #: OSC-250
 Title Holder: Casey's Marketing
 Company
 Parcel ID Address:
 114 N. Main St.
 Osceola, IA 50213
 570 S.F. of Temporary Easement

Parcel #: OSC-254
 Title Holder: Marvin & Kayleen McCann
 Parcel ID Address:
 130 N. Main St.
 Osceola, IA 50213
 443 S.F. of Temporary Easement

Parcel #: OSC-247
 Title Holder: Helen Saylor
 Parcel ID Address:
 117 N. Main St.
 Osceola, IA 50213

Parcel #: OSC-248
 Title Holder: Maria Cisneros-Gomez
 & Juan Jose Lopez-Zavata
 Parcel ID Address:
 123 N. Main St.
 Osceola, IA 50213

Parcel #: OSC-251
 Title Holder: Mariana Landeros
 Parcel ID Address:
 125 1/2 N. Main St.
 Osceola, IA 50213
 288 S.F. of Temporary Easement

Parcel #: OSC-252
 Title Holder: Azig Enterprises LLC
 Parcel ID Address:
 116 E. Webster St.
 Osceola, IA 50213
 574 S.F. of Temporary Easement

Parcel #: OSC-253
 Title Holder: Maria Dejesus Navarro
 Parcel ID Address:
 131-133 North Main
 Osceola, IA 50213
 284 S.F. of Temporary Easement

Parcel #: OSC-256
 Title Holder:
 Maria Dejesus Navarro
 Parcel ID Address:
 139 N. Main St.
 Osceola, IA 50213
 477 S.F. of Temporary Easement

Parcel #: OSC-255
 Title Holder: Maria Dejesus Navarro
 Parcel ID Address:
 135 N. Main St.
 Osceola, IA 50213
 322 S.F. of Temporary Easement

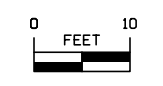
- RIGHT OF WAY LEGEND**
- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - ↔ Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line

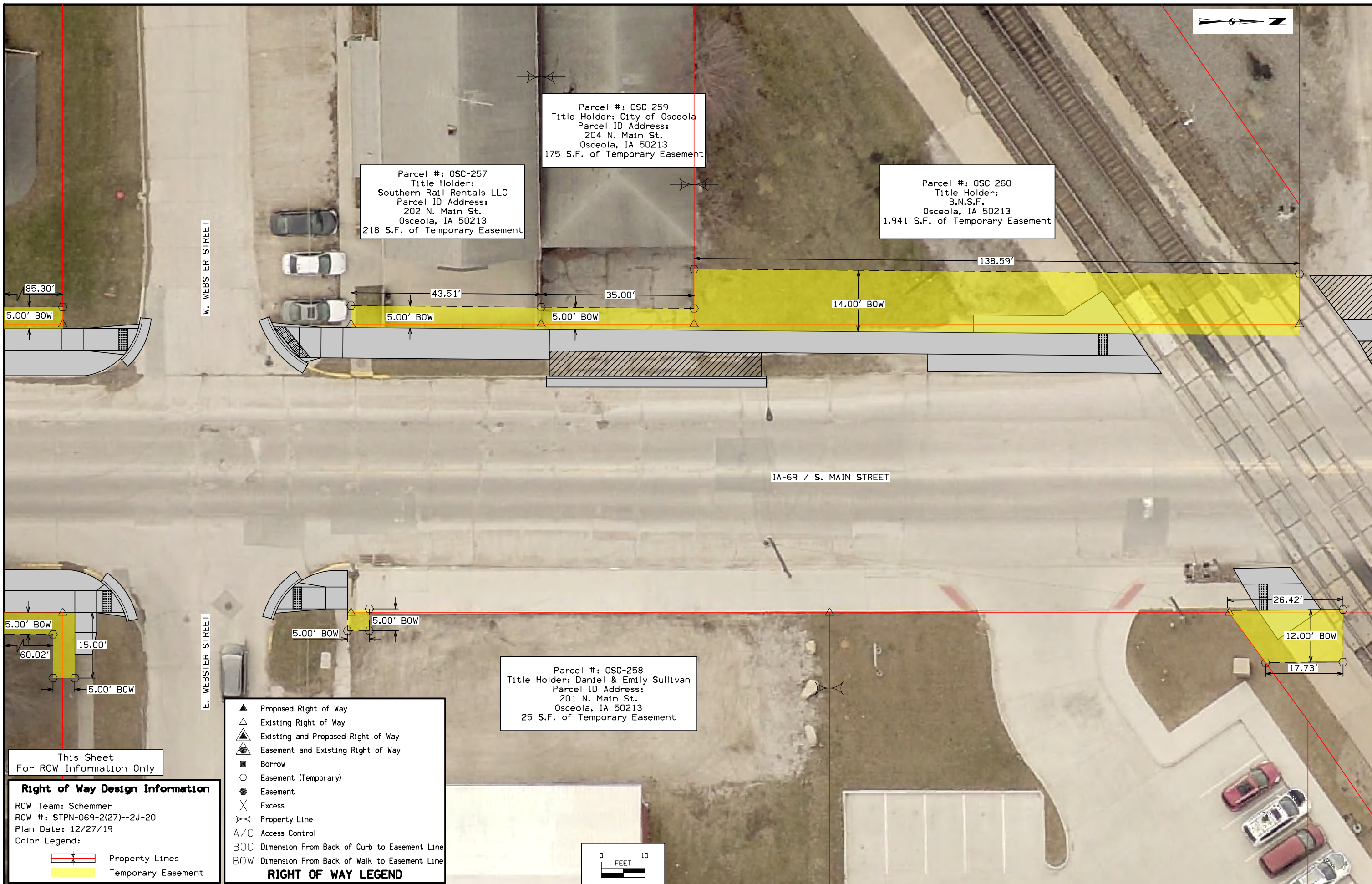
This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

- Property Lines
- Temporary Easement





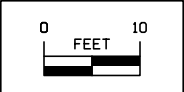
Parcel #: OSC-259
 Title Holder: City of Osceola
 Parcel ID Address:
 204 N. Main St.
 Osceola, IA 50213
 175 S.F. of Temporary Easement

Parcel #: OSC-257
 Title Holder:
 Southern Rail Rentals LLC
 Parcel ID Address:
 202 N. Main St.
 Osceola, IA 50213
 218 S.F. of Temporary Easement

Parcel #: OSC-260
 Title Holder:
 B.N.S.F.
 Osceola, IA 50213
 1,941 S.F. of Temporary Easement

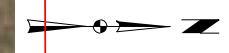
Parcel #: OSC-258
 Title Holder: Daniel & Emily Sullivan
 Parcel ID Address:
 201 N. Main St.
 Osceola, IA 50213
 25 S.F. of Temporary Easement

- RIGHT OF WAY LEGEND**
- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
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 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line



This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement



Parcel #: OSC-262
 Title Holder: City of Osceola
 Parcel ID Address:
 216 N. Main St.
 Osceola, IA 50213
 707 S.F. of Temporary Easement

Parcel #: OSC-264
 Title Holder: Steven &
 Royanna Spencer
 Parcel ID Address:
 226 N. Main St.
 Osceola, IA 50213
 688 S.F. of Temporary Easement

Parcel #: OSC-265
 Title Holder: Calvin Goodemote
 Parcel ID Address:
 108 W. Clay St.
 Osceola, IA 50213
 272 S.F. of Temporary Easement

Parcel #: OSC-261
 Title Holder:
 B.N.S.F.
 Osceola, IA 50213
 412 S.F. of Temporary Easement

Parcel #: OSC-263
 Title Holder: City of Osceola
 Parcel ID Address:
 N. Main St.
 Osceola, IA 50213
 743 S.F. of Temporary Easement

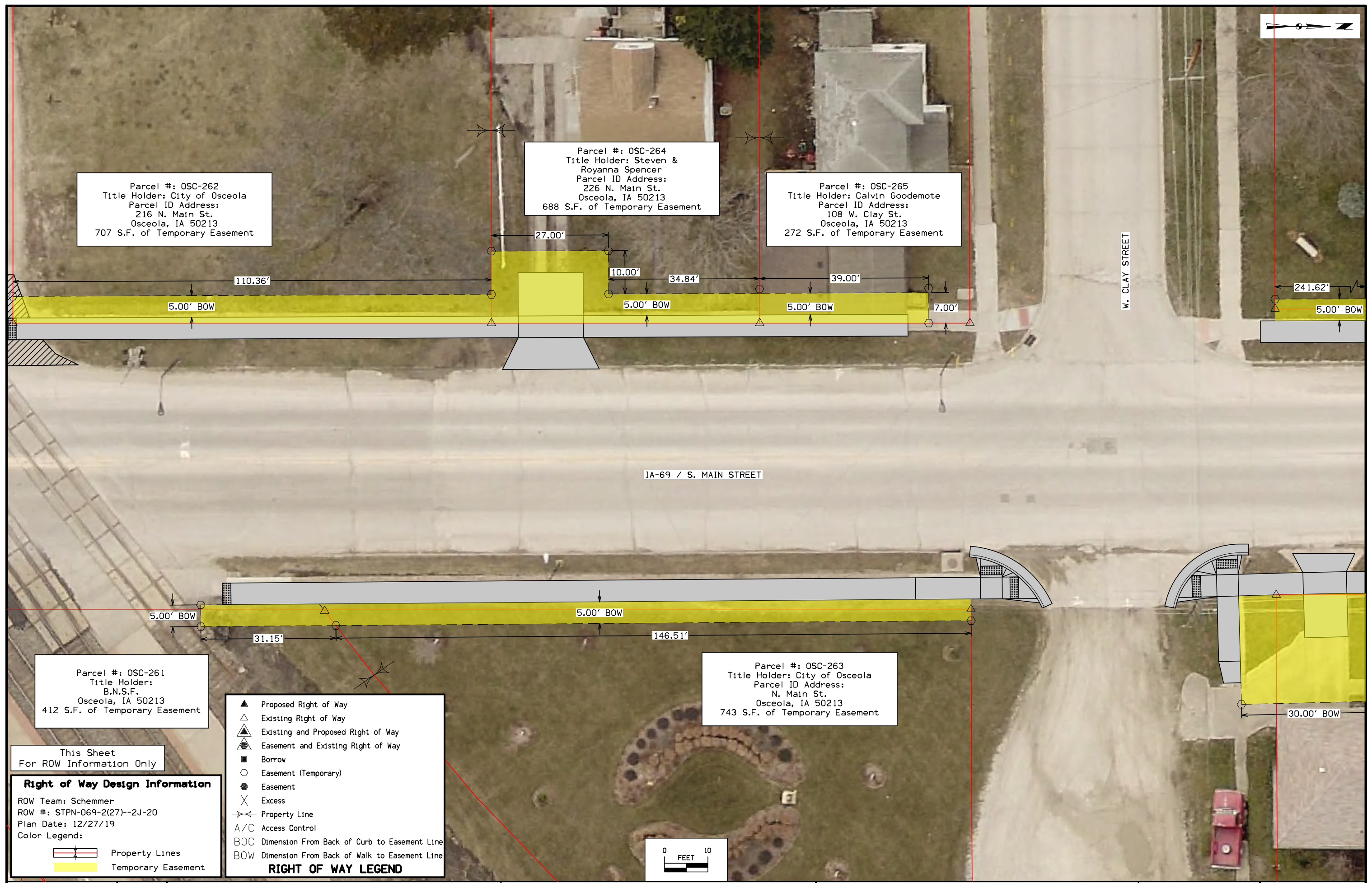
This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND

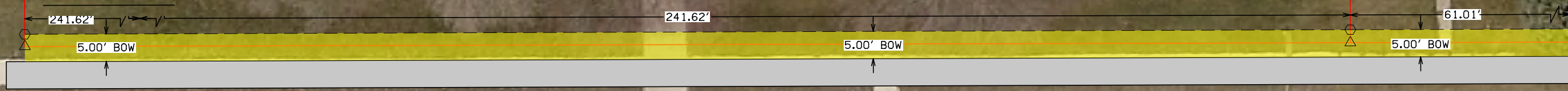
- Proposed Right of Way
- Existing Right of Way
- Existing and Proposed Right of Way
- Easement and Existing Right of Way
- Borrow
- Easement (Temporary)
- Easement
- Excess
- Property Line
- A/C Access Control
- BOC Dimension From Back of Curb to Easement Line
- BOW Dimension From Back of Walk to Easement Line



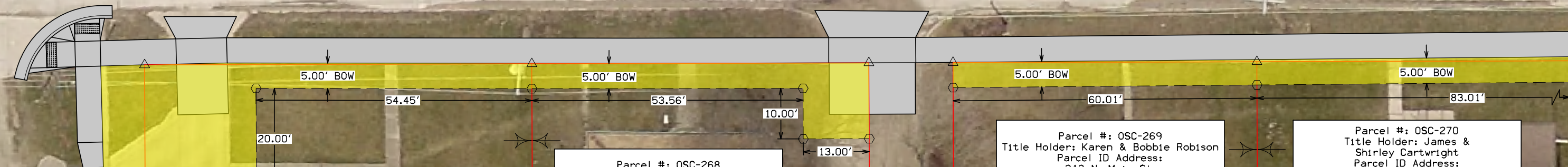


Parcel #: OSC-266
 Title Holder: Golden Thread Housing Inc.
 Parcel ID Address: 310 N. Main St.
 Osceola, IA 50213
 1,209 S.F. of Temporary Easement

Parcel #: OSC-271
 Title Holder: JSP Investments LLC
 Parcel ID Address: 322 N. Main St.
 Osceola, IA 50213
 306 S.F. of Temporary Easement



IA-69 / S. MAIN STREET



Parcel #: OSC-268
 Title Holder: Gary & Ilene McVey
 Parcel ID Address: 311 N. Main St.
 Osceola, IA 50213
 464 S.F. of Temporary Easement

Parcel #: OSC-269
 Title Holder: Karen & Bobbie Robison
 Parcel ID Address: 313 N. Main St.
 Osceola, IA 50213
 300 S.F. of Temporary Easement

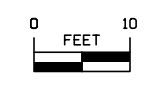
Parcel #: OSC-270
 Title Holder: James & Shirley Cartwright
 Parcel ID Address: 323 N. Main St.
 Osceola, IA 50213
 416 S.F. of Temporary Easement

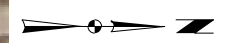
Parcel #: OSC-267
 Title Holder: Jose and Hilda Martinez
 Parcel ID Address: 301 N. Main St.
 Osceola, IA 50213
 1,033 S.F. of Temporary Easement

- RIGHT OF WAY LEGEND**
- ▲ Proposed Right of Way
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 - ▲△ Existing and Proposed Right of Way
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 - ⊗ Easement
 - ✕ Excess
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 - BOW Dimension From Back of Walk to Easement Line

This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 ▬ Property Lines
 ■ Temporary Easement





Parcel #: OSC-272
 Title Holder: Michael & Heidi Henry
 Parcel ID Address:
 400 N. Main St.
 Osceola, IA 50213
 306 S.F. of Temporary Easement

Parcel #: OSC-274
 Title Holder: Zabe Hatfield
 Parcel ID Address:
 402 N. Main St.
 Osceola, IA 50213
 290 S.F. of Temporary Easement

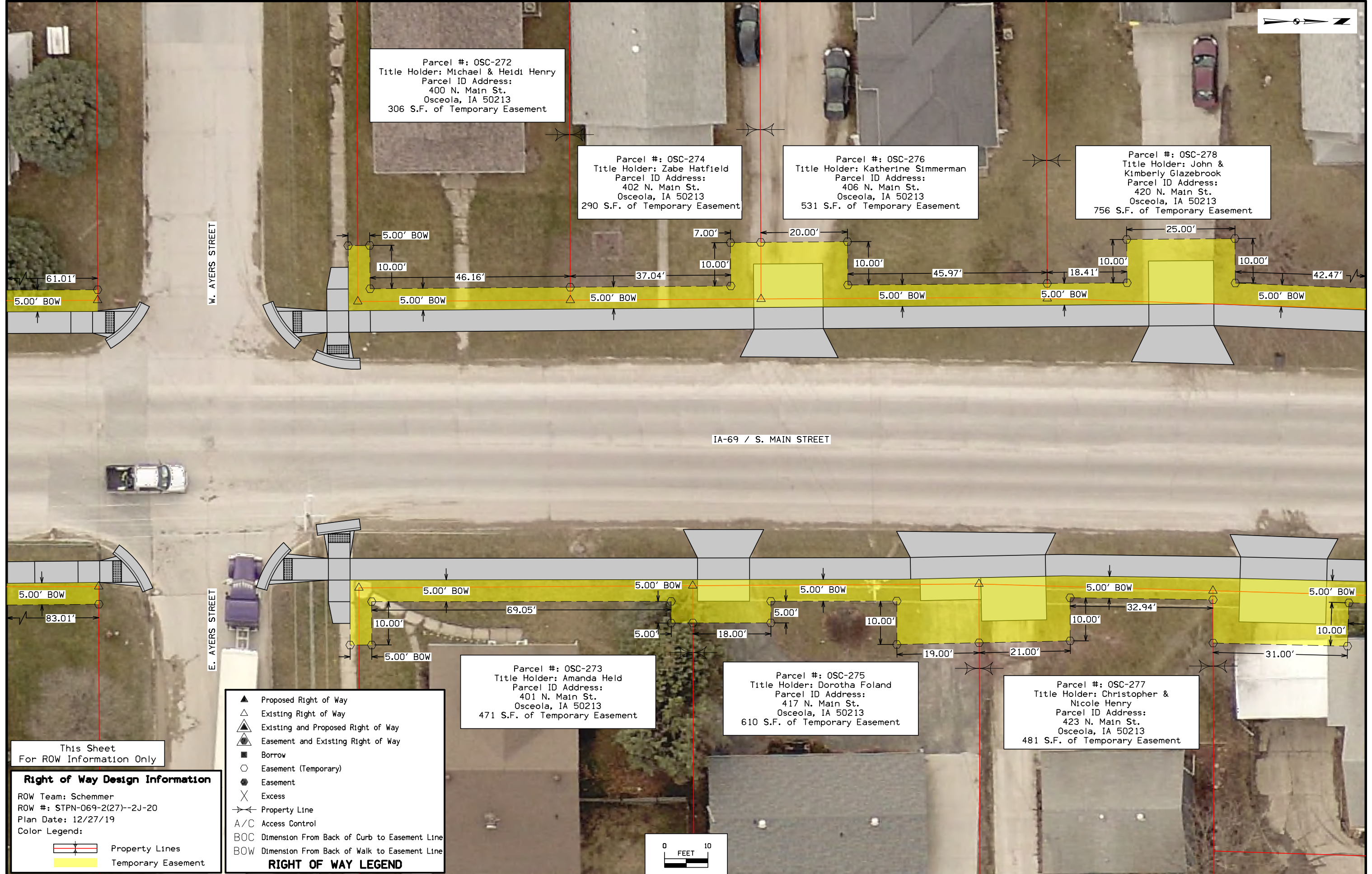
Parcel #: OSC-276
 Title Holder: Katherine Simmerman
 Parcel ID Address:
 406 N. Main St.
 Osceola, IA 50213
 531 S.F. of Temporary Easement

Parcel #: OSC-278
 Title Holder: John & Kimberly Glazebrook
 Parcel ID Address:
 420 N. Main St.
 Osceola, IA 50213
 756 S.F. of Temporary Easement

Parcel #: OSC-273
 Title Holder: Amanda Held
 Parcel ID Address:
 401 N. Main St.
 Osceola, IA 50213
 471 S.F. of Temporary Easement

Parcel #: OSC-275
 Title Holder: Dorothea Foland
 Parcel ID Address:
 417 N. Main St.
 Osceola, IA 50213
 610 S.F. of Temporary Easement

Parcel #: OSC-277
 Title Holder: Christopher & Nicole Henry
 Parcel ID Address:
 423 N. Main St.
 Osceola, IA 50213
 481 S.F. of Temporary Easement



W. AYERS STREET

E. AYERS STREET

IA-69 / S. MAIN STREET

This Sheet
 For ROW Information Only

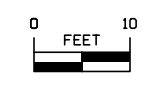
Right of Way Design Information

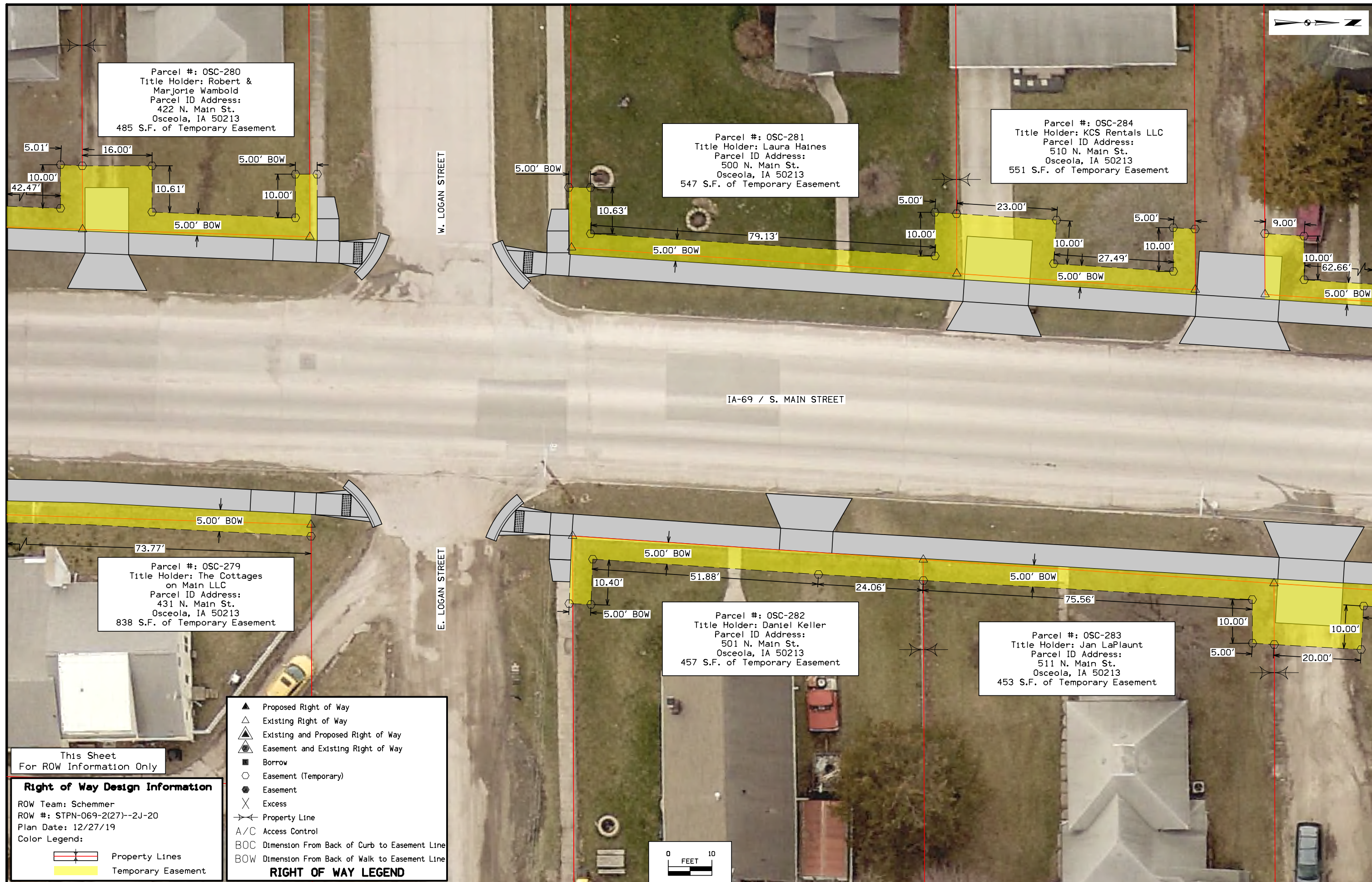
ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

	Property Lines
	Temporary Easement

RIGHT OF WAY LEGEND

- Proposed Right of Way
- Existing Right of Way
- Existing and Proposed Right of Way
- Easement and Existing Right of Way
- Borrow
- Easement (Temporary)
- Easement
- Excess
- Property Line
- Access Control
- Dimension From Back of Curb to Easement Line
- Dimension From Back of Walk to Easement Line





Parcel #: OSC-280
 Title Holder: Robert & Marjorie Wambold
 Parcel ID Address:
 422 N. Main St.
 Osceola, IA 50213
 485 S.F. of Temporary Easement

Parcel #: OSC-281
 Title Holder: Laura Haines
 Parcel ID Address:
 500 N. Main St.
 Osceola, IA 50213
 547 S.F. of Temporary Easement

Parcel #: OSC-284
 Title Holder: KCS Rentals LLC
 Parcel ID Address:
 510 N. Main St.
 Osceola, IA 50213
 551 S.F. of Temporary Easement

Parcel #: OSC-279
 Title Holder: The Cottages on Main LLC
 Parcel ID Address:
 431 N. Main St.
 Osceola, IA 50213
 838 S.F. of Temporary Easement

Parcel #: OSC-282
 Title Holder: Daniel Keller
 Parcel ID Address:
 501 N. Main St.
 Osceola, IA 50213
 457 S.F. of Temporary Easement

Parcel #: OSC-283
 Title Holder: Jan LaPlaunt
 Parcel ID Address:
 511 N. Main St.
 Osceola, IA 50213
 453 S.F. of Temporary Easement

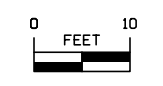
- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - ↔ Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line
- RIGHT OF WAY LEGEND**

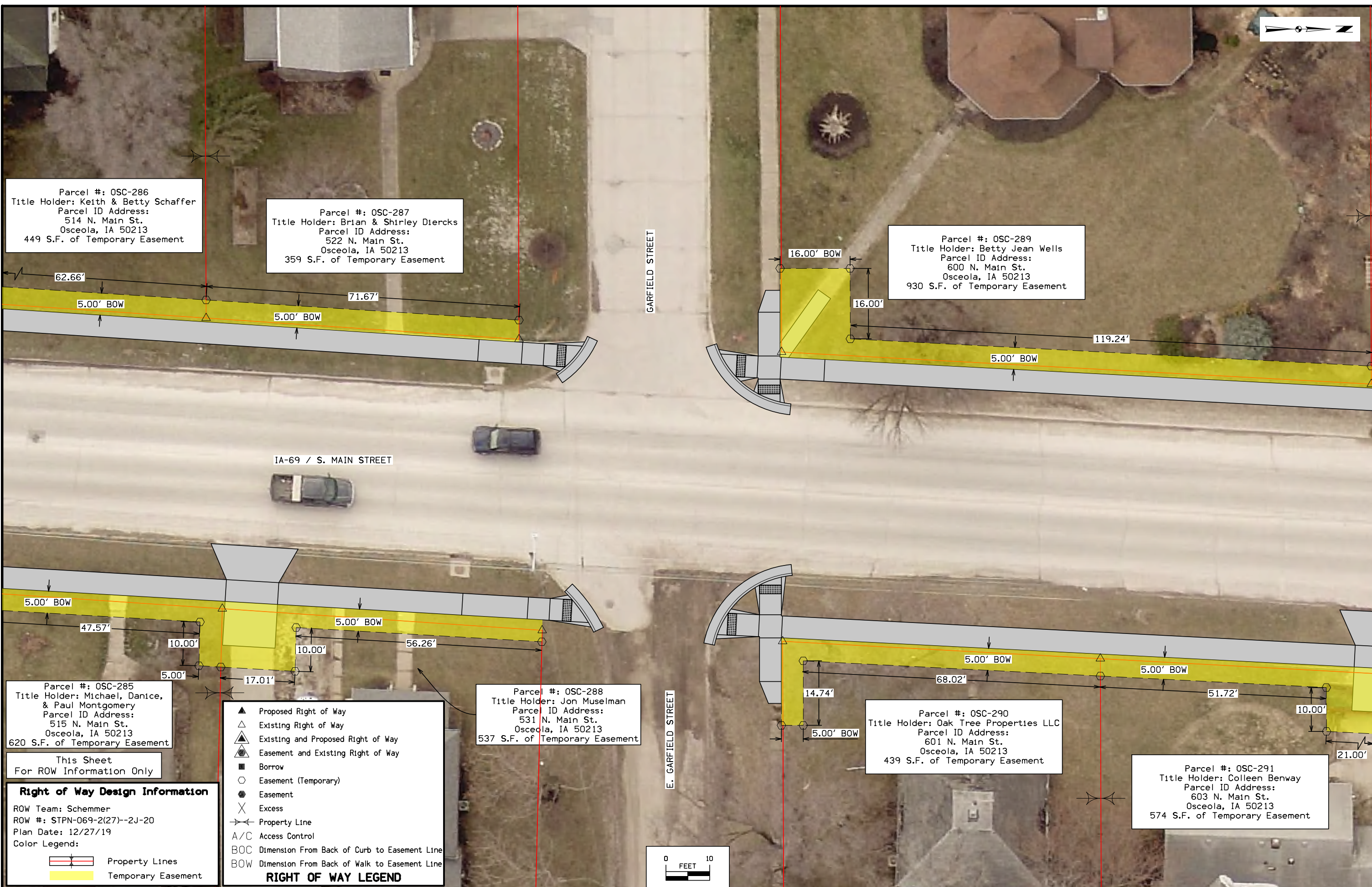
This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:

Property Lines
 Temporary Easement





Parcel #: OSC-286
 Title Holder: Keith & Betty Schaffer
 Parcel ID Address:
 514 N. Main St.
 Osceola, IA 50213
 449 S.F. of Temporary Easement

Parcel #: OSC-287
 Title Holder: Brian & Shirley Diercks
 Parcel ID Address:
 522 N. Main St.
 Osceola, IA 50213
 359 S.F. of Temporary Easement

Parcel #: OSC-289
 Title Holder: Betty Jean Wells
 Parcel ID Address:
 600 N. Main St.
 Osceola, IA 50213
 930 S.F. of Temporary Easement

Parcel #: OSC-285
 Title Holder: Michael, Danice,
 & Paul Montgomery
 Parcel ID Address:
 515 N. Main St.
 Osceola, IA 50213
 620 S.F. of Temporary Easement

Parcel #: OSC-288
 Title Holder: Jon Muselman
 Parcel ID Address:
 531 N. Main St.
 Osceola, IA 50213
 537 S.F. of Temporary Easement

Parcel #: OSC-290
 Title Holder: Oak Tree Properties LLC
 Parcel ID Address:
 601 N. Main St.
 Osceola, IA 50213
 439 S.F. of Temporary Easement

Parcel #: OSC-291
 Title Holder: Colleen Benway
 Parcel ID Address:
 603 N. Main St.
 Osceola, IA 50213
 574 S.F. of Temporary Easement

- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊙ Easement
 - ✕ Excess
 - Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line
- RIGHT OF WAY LEGEND**

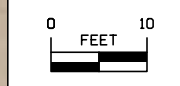
This Sheet
 For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19

Color Legend:

- Property Lines
- Temporary Easement

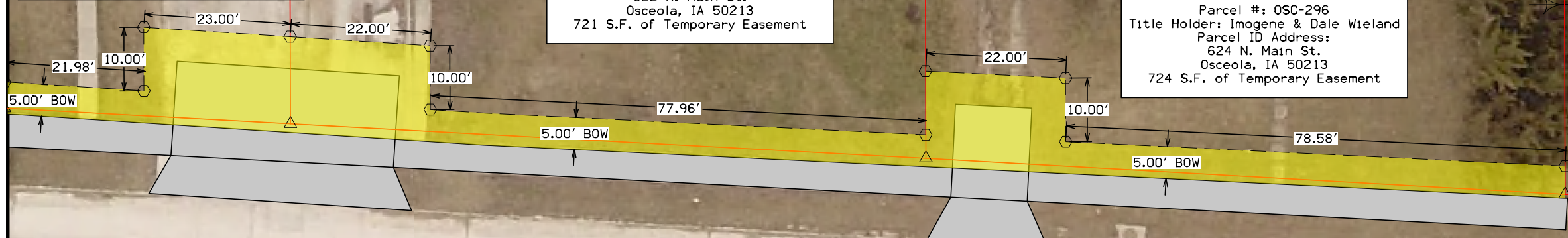




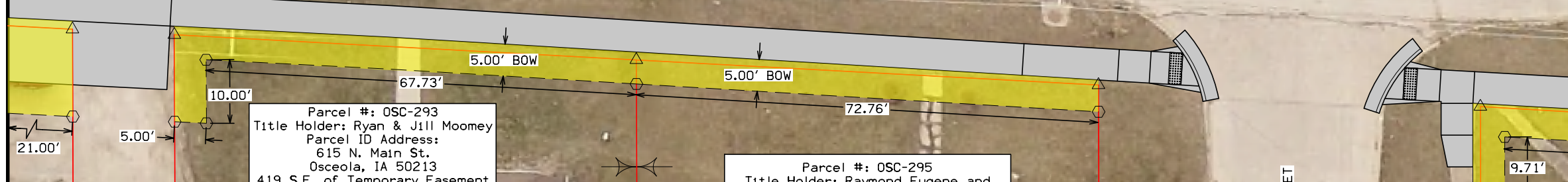
Parcel #: OSC-292
 Title Holder: Marvin McCann & Kayleen Klaassen
 Parcel ID Address: 608 N. Main St.
 Osceola, IA 50213
 456 S.F. of Temporary Easement

Parcel #: OSC-294
 Title Holder: Daniel & Susan Peters
 Parcel ID Address: 622 N. Main St.
 Osceola, IA 50213
 721 S.F. of Temporary Easement

Parcel #: OSC-296
 Title Holder: Imogene & Dale Wieland
 Parcel ID Address: 624 N. Main St.
 Osceola, IA 50213
 724 S.F. of Temporary Easement



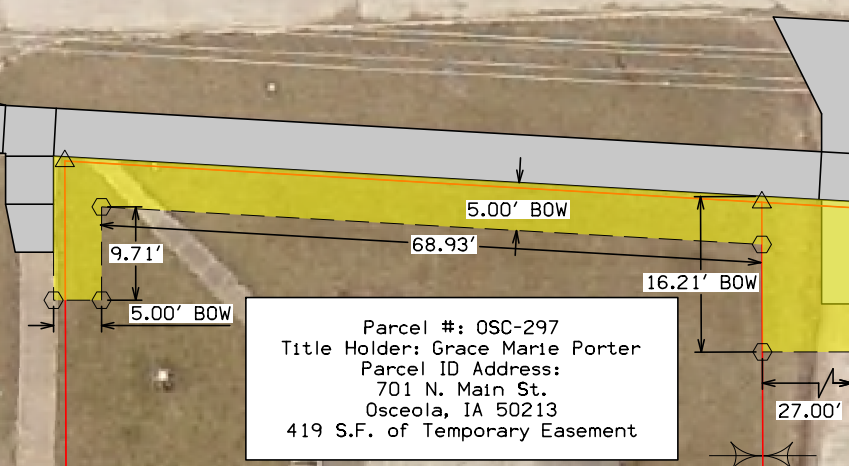
IA-69 / S. MAIN STREET



Parcel #: OSC-293
 Title Holder: Ryan & Jill Moomey
 Parcel ID Address: 615 N. Main St.
 Osceola, IA 50213
 419 S.F. of Temporary Easement

Parcel #: OSC-295
 Title Holder: Raymond Eugene and Cheryl M. Wilkins
 Parcel ID Address: 623 N. Main St.
 Osceola, IA 50213
 364 S.F. of Temporary Easement

Parcel #: OSC-297
 Title Holder: Grace Marie Porter
 Parcel ID Address: 701 N. Main St.
 Osceola, IA 50213
 419 S.F. of Temporary Easement



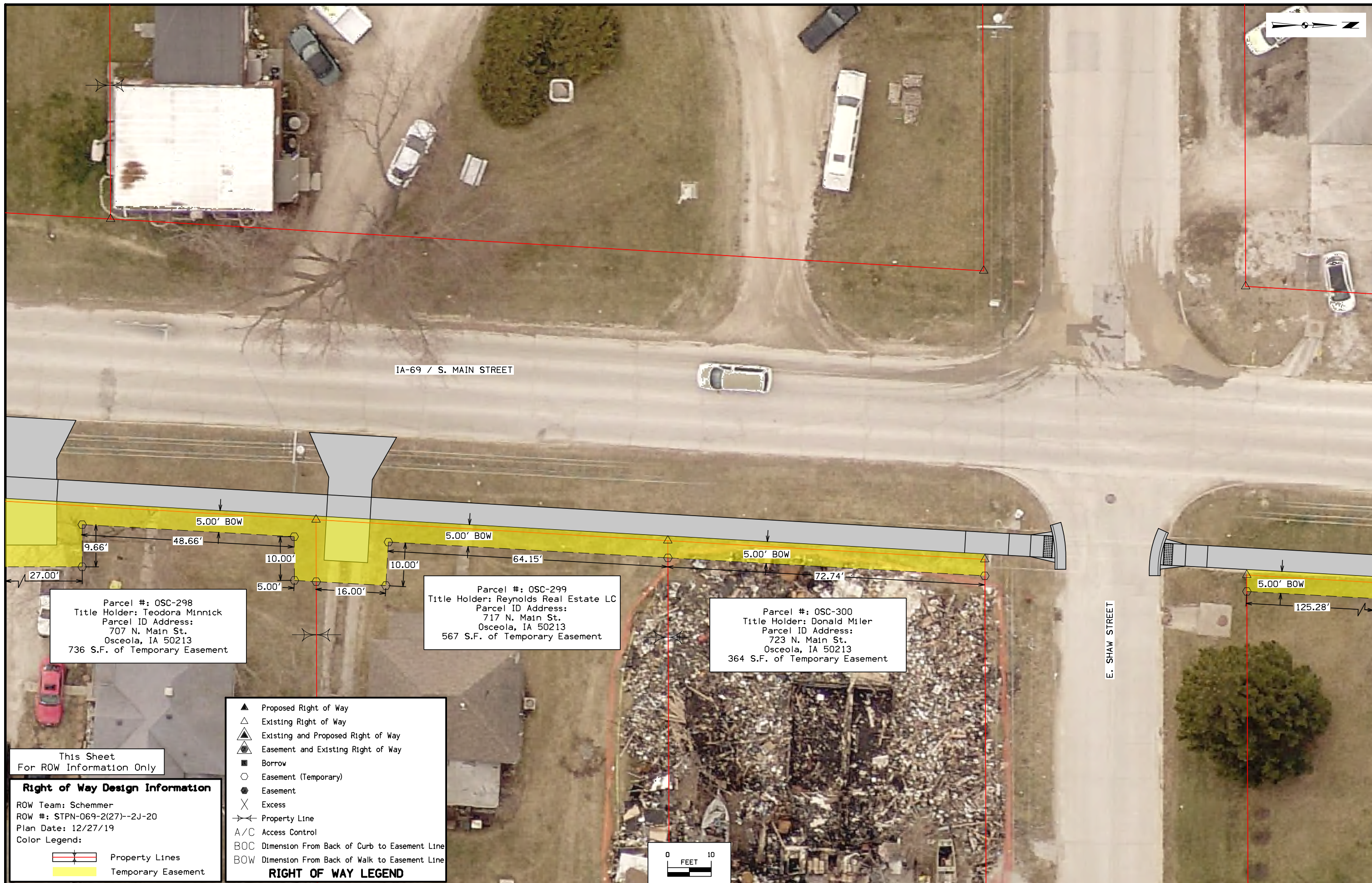
E. MCKINLEY STREET

This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 Property Lines
 Temporary Easement

RIGHT OF WAY LEGEND
 Proposed Right of Way
 Existing Right of Way
 Existing and Proposed Right of Way
 Easement and Existing Right of Way
 Borrow
 Easement (Temporary)
 Easement
 Excess
 Property Line
 A/C Access Control
 BOC Dimension From Back of Curb to Easement Line
 BOW Dimension From Back of Walk to Easement Line





IA-69 / S. MAIN STREET

E. SHAW STREET

Parcel #: OSC-298
 Title Holder: Teodora Minnick
 Parcel ID Address:
 707 N. Main St.
 Osceola, IA 50213
 736 S.F. of Temporary Easement

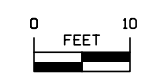
Parcel #: OSC-299
 Title Holder: Reynolds Real Estate LC
 Parcel ID Address:
 717 N. Main St.
 Osceola, IA 50213
 567 S.F. of Temporary Easement

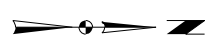
Parcel #: OSC-300
 Title Holder: Donald Miller
 Parcel ID Address:
 723 N. Main St.
 Osceola, IA 50213
 364 S.F. of Temporary Easement

This Sheet
 For ROW Information Only

Right of Way Design Information
 ROW Team: Schemmer
 ROW #: STPN-069-2(27)--2J-20
 Plan Date: 12/27/19
 Color Legend:
 [Red Line] Property Lines
 [Yellow Area] Temporary Easement

RIGHT OF WAY LEGEND
 ▲ Proposed Right of Way
 △ Existing Right of Way
 ▲△ Existing and Proposed Right of Way
 ⊕ Easement and Existing Right of Way
 ■ Borrow
 ○ Easement (Temporary)
 ⊗ Easement
 ✕ Excess
 ✂ Property Line
 A/C Access Control
 BOC Dimension From Back of Curb to Easement Line
 BOW Dimension From Back of Walk to Easement Line





IA-69 / S. MAIN STREET

Parcel #: OSC-301
Title Holder: Troy Jimmerson
Parcel ID Address:
803 N. Main St.
Osceola, IA 50213
627 S.F. of Temporary Easement

Parcel #: OSC-302
Title Holder: Danny &
Dorothy Lawrence
Parcel ID Address:
815 N. Main St.
Osceola, IA 50213
665 S.F. of Temporary Easement

Parcel #: OSC-303
Title Holder: Danny &
Dorothy Lawrence
Parcel ID Address:
815 N. Main St.
Osceola, IA 50213
41 S.F. of Temporary Easement

- ▲ Proposed Right of Way
 - △ Existing Right of Way
 - ▲△ Existing and Proposed Right of Way
 - ⊕ Easement and Existing Right of Way
 - Borrow
 - Easement (Temporary)
 - ⊗ Easement
 - ✕ Excess
 - ⚡ Property Line
 - A/C Access Control
 - BOC Dimension From Back of Curb to Easement Line
 - BOW Dimension From Back of Walk to Easement Line
- RIGHT OF WAY LEGEND**

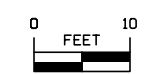
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For ROW Information Only

Right of Way Design Information

ROW Team: Schemmer
ROW #: STPN-069-2(27)--2J-20
Plan Date: 12/27/19

Color Legend:

- Property Lines
- Temporary Easement



SURVEY SYMBOLS

UTILITY LEGEND

City of Osceola
 Brandon Patterson
 641-342-1435
 osceolawaterworks@windstream.net

Alliant Energy
 Alliant Energy Field Engineer
 800-255-4268
 locate_IPL@alliantenergy.com

Clarke Electric Cooperative
 Don Lange
 641-342-2173
 jkbill@cecn.net

Chat Mobility
 Tom Weis
 712-370-8080
 tweis@chatmobility.com

Iowa Communications Network
 Shannon Marlow
 800-572-3940
 icnoutsideplantiowaonecall@iowa.gov















Aureon Network Services
 Jeff Klocko
 515-830-0445
 jeff.klocko@aureon.com

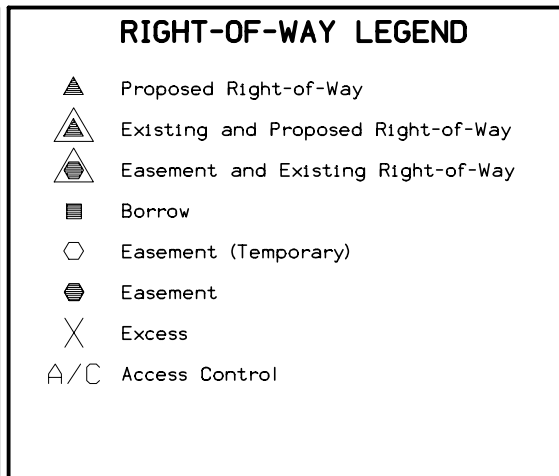
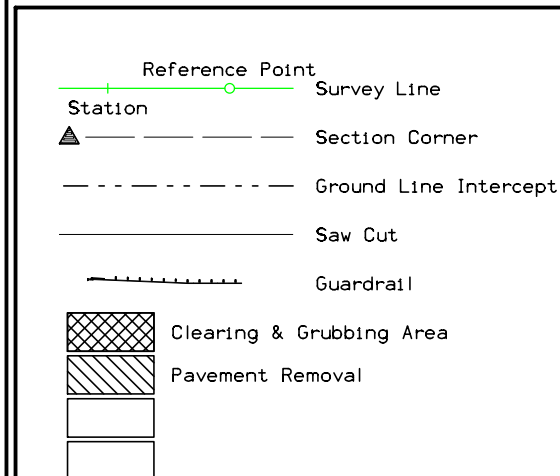
Mediacom Cable
 Shane Shrader
 712-314-1248
 sschrader@mediacomcc.com

Unite Private Networks, LLC
 Joe Kilzer
 816-425-3556
 upngis@upnfiber.com

Windstream Communications
 Locate Desk
 800-289-1901
 locate.desk@windstream.com

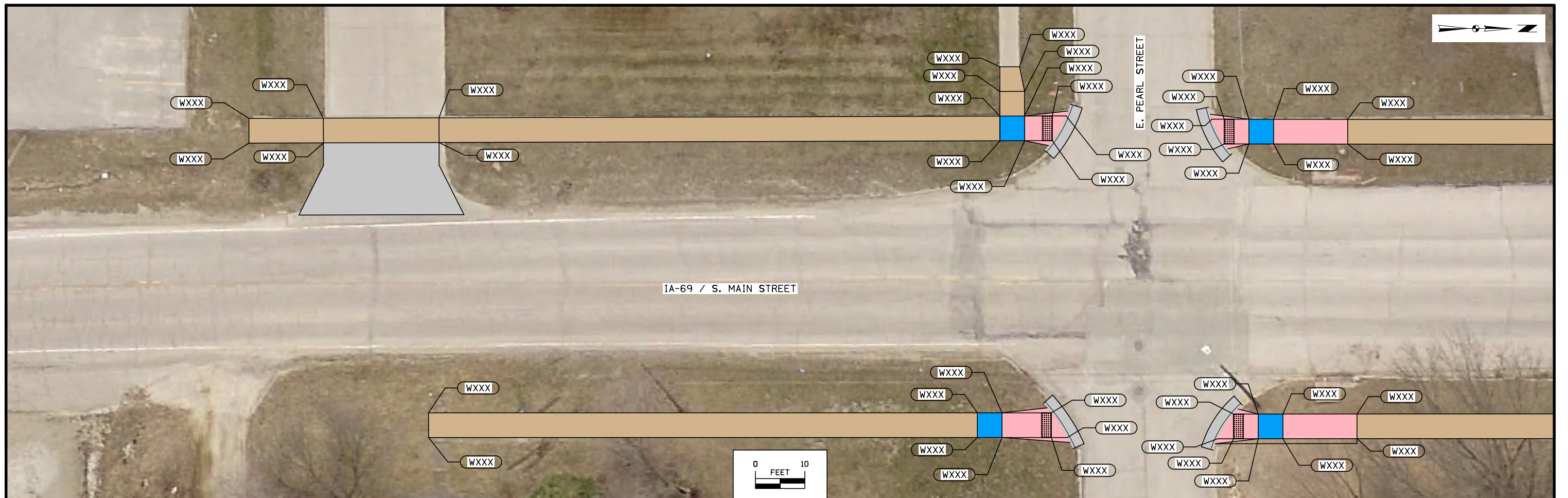
PLAN VIEW COLOR LEGEND OF PLAN AND PROFILE SHEETS

LINEWORK		Design Color No.	
Green	(2)		Existing Topographic Features and Labels
Blue	(1)		Proposed Alignment, Stationing, Tic Marks, and Alignment Annotation
Magenta	(5)		Existing Utilities
SHADING		Design Color No.	
Tan	(8)		Proposed Sidewalk Shading
Blue, Light	(230)		Proposed Sidewalk Landing Shading
Pink	(11)		Proposed Sidewalk Ramp Shading
Magenta	(5)		Detectable Warning
Yellow	(4)		Highlight for Critical Notes or Features
Red	(3)		Delineates Restricted Areas
Lavender	(9)		Temporary Pavement Shading
Gray, Light	(48)		Proposed Pavement Shading
Gray, Med	(80)		Proposed Granular Shading
Gray, Dark	(112)		Proposed Grade and Pave Shading
Brown, Light	(236)		Grading Shading



**SIDEWALK
 LEGEND AND SYMBOL
 INFORMATION SHEET**

(COVERS SHEET SERIES S)



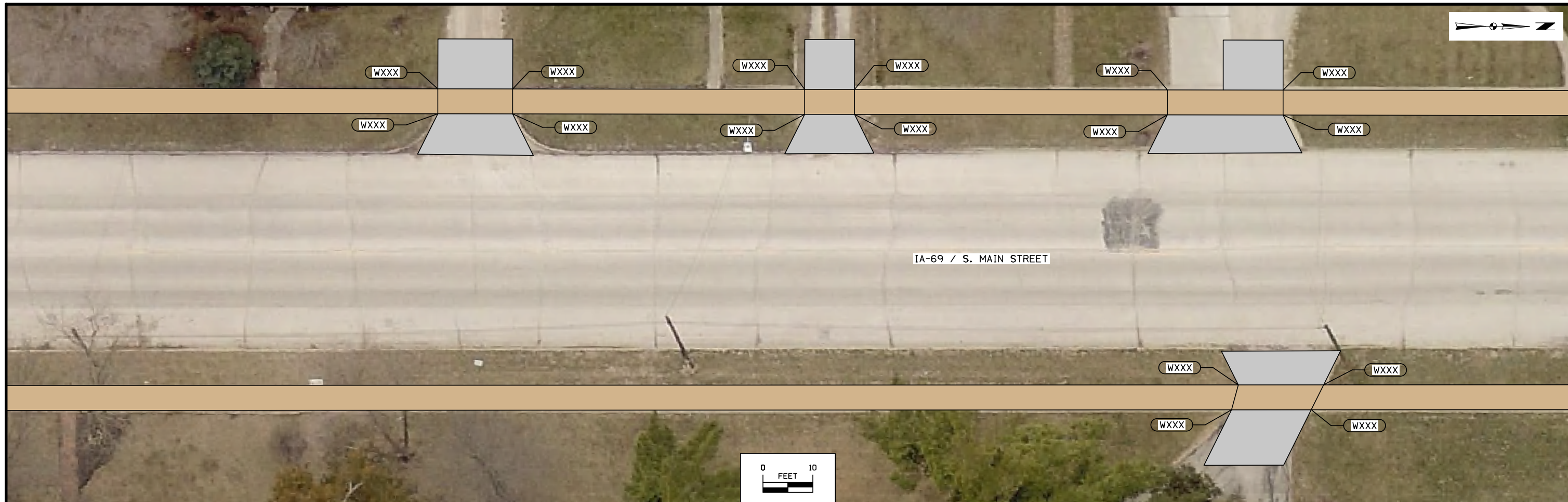
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

- * Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	'-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES						
											Point	Station	Offset	Elevation			
	Ramp Running Slope	6															
	Landing/Turning Space	4															
	Match Existing Cross Slope	4															



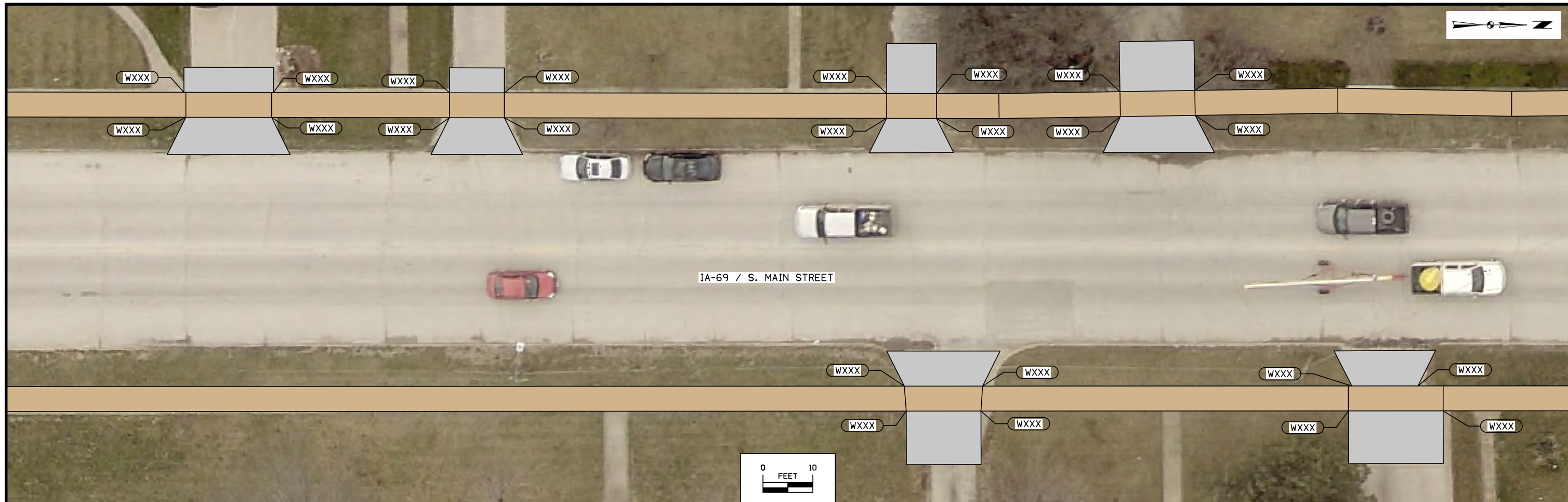
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														

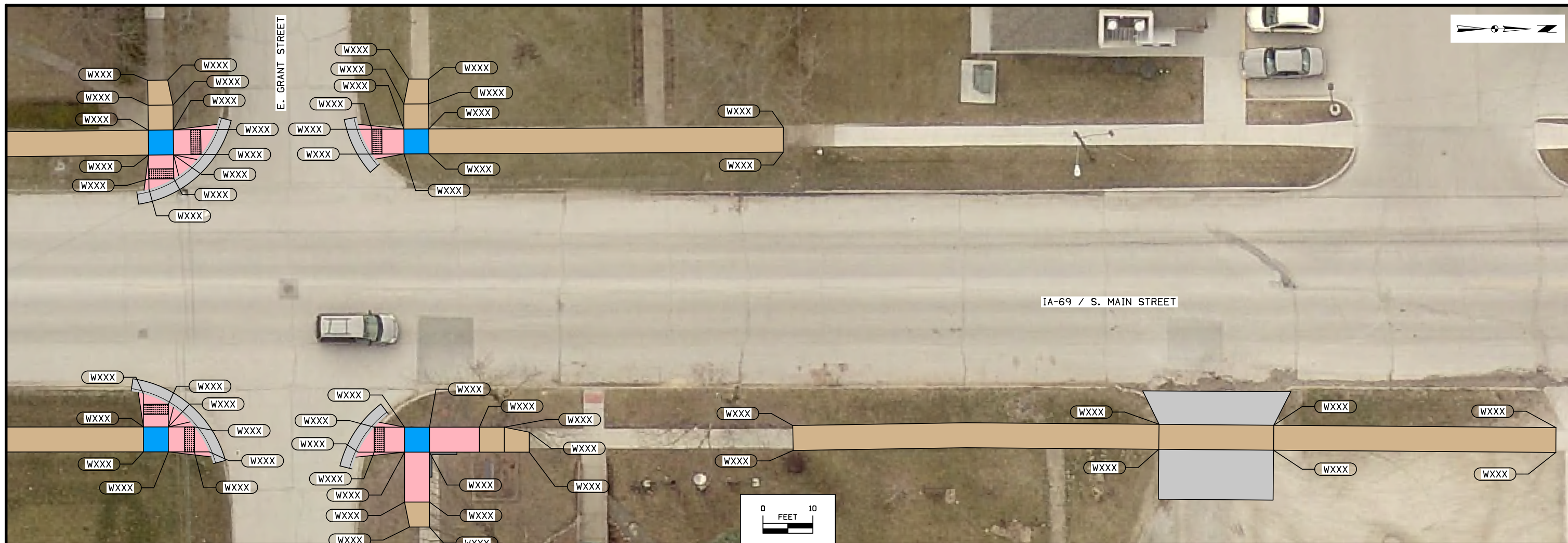


SIDEWALK COMPLIANCE
See 5 Sheets

113-10
04-18-17

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Point to Point	Sidewalk Designation	'-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



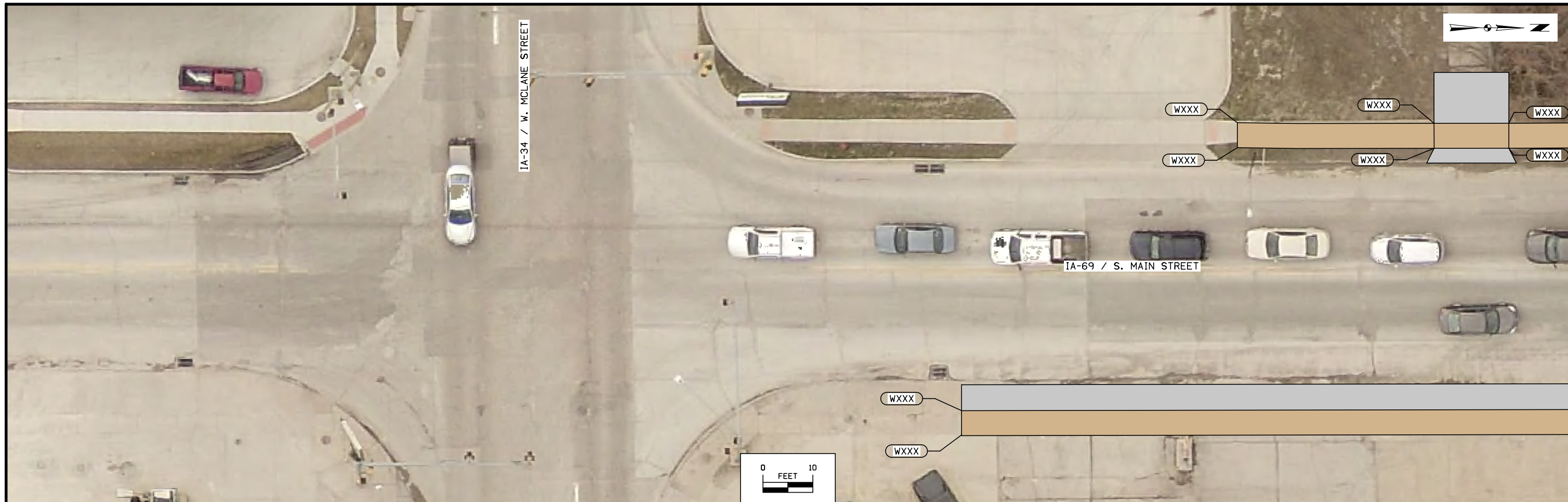
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

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Point to Point	Sidewalk Designation	" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES						
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	Landing/Turning Space	4															
	Match Existing Cross Slope	4															



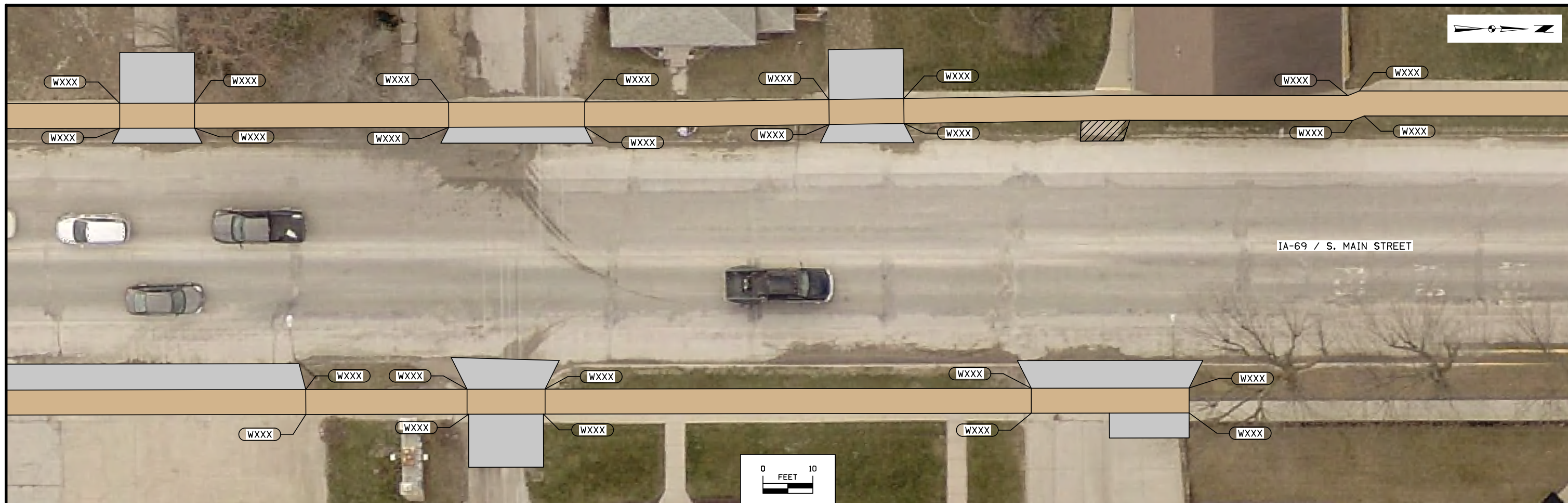
SIDEWALK COMPLIANCE

See S Sheets

113-10
04-18-17

- ① Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	'-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Ramp Running Slope	6														
	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



SIDEWALK COMPLIANCE
See 5 Sheets

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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



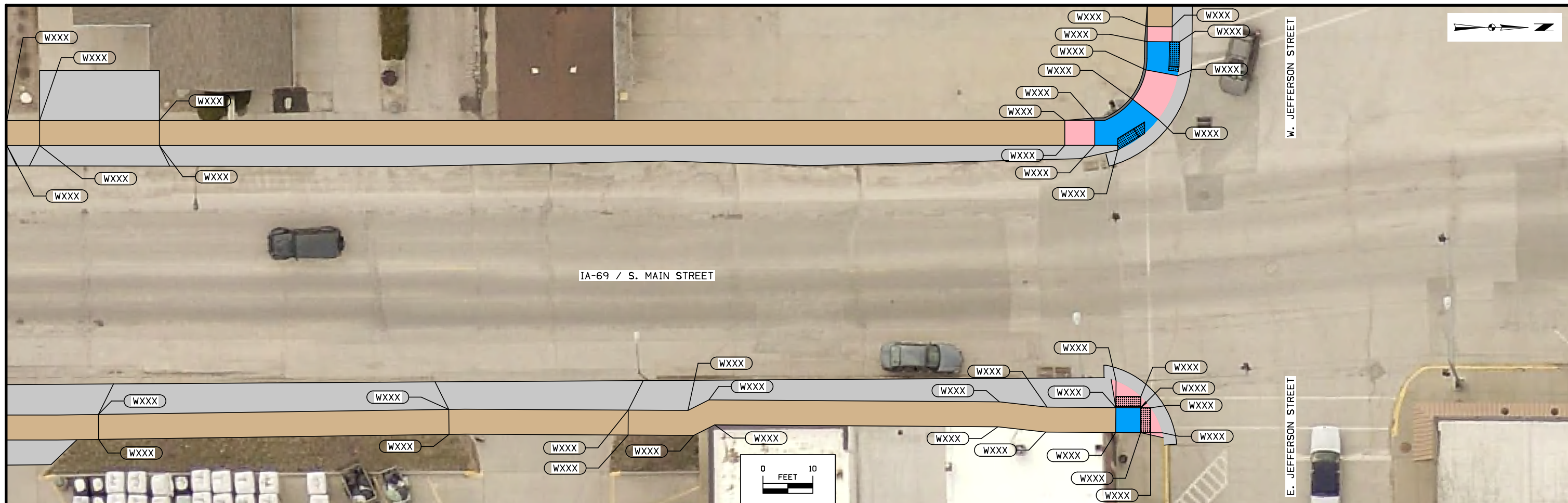
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

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Point to Point	Sidewalk Designation	" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES						
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	Landing/Turning Space	4															
	Match Existing Cross Slope	4															

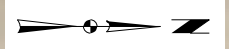


SIDEWALK COMPLIANCE
See 5 Sheets

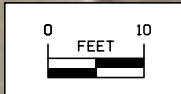
113-10
04-18-17

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Point to Point	Sidewalk Designation	'-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



IA-69 / S. MAIN STREET



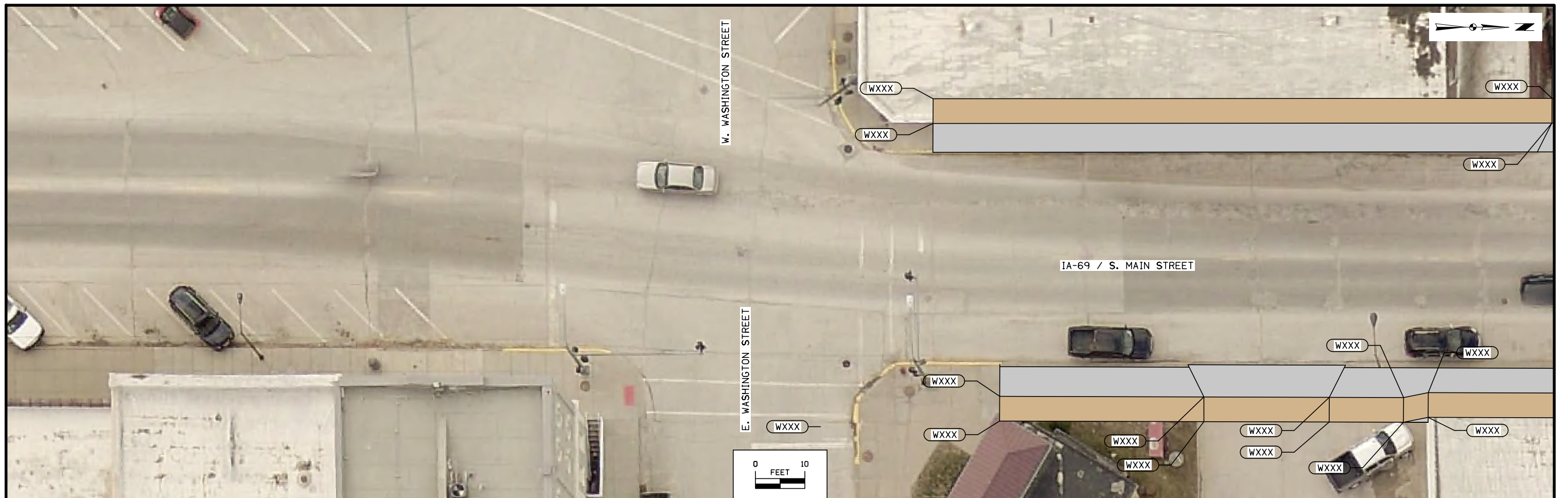
SIDEWALK COMPLIANCE

See S Sheets

113-10
04-18-17

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- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Ramp Running Slope	6														
	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



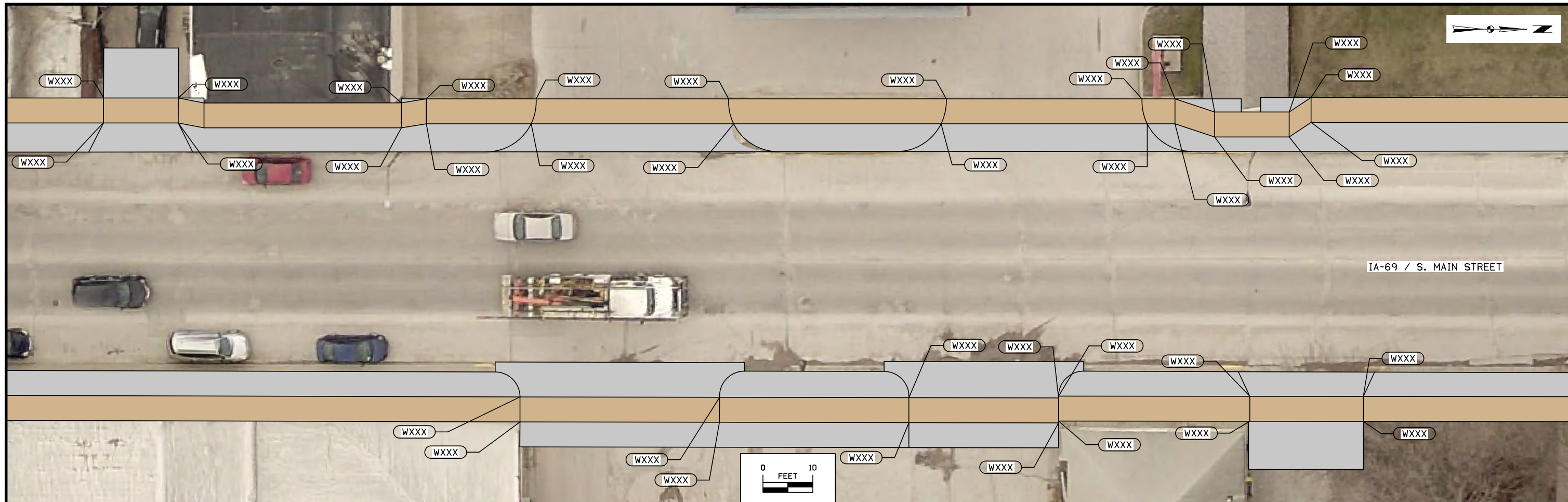
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

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Point to Point	Sidewalk Designation	" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														

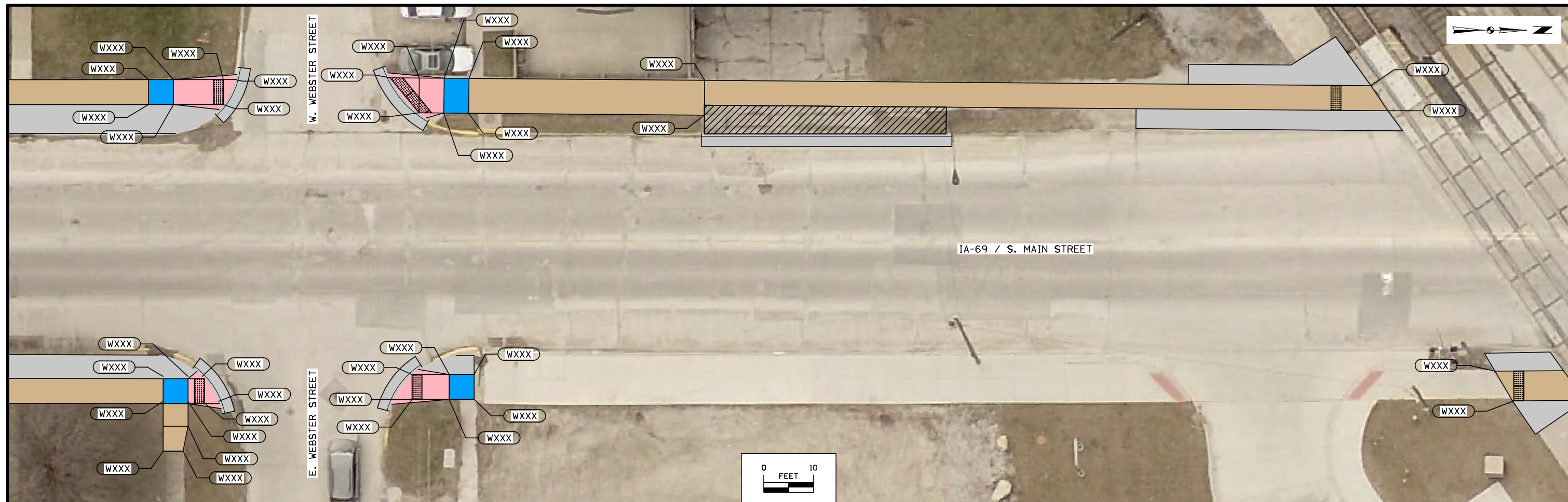


SIDEWALK COMPLIANCE
See 5 Sheets

113-10
04-18-17

- * Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	-" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES					
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	Ramp Running Slope	6														
	Landing/Turning Space	4														
	Match Existing Cross Slope	4														



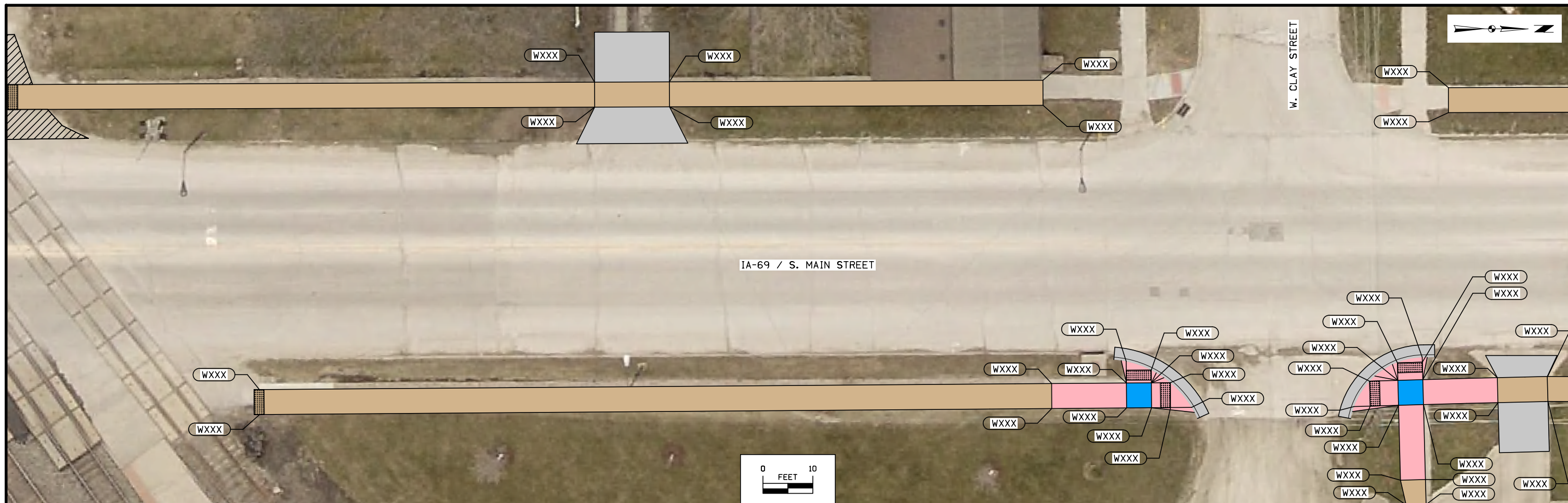
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
04-18-17

- * Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	_" PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES						
											Point	Station	Offset	Elevation			
	Ramp Running Slope	6															
	Landing/Turning Space	4															
	Match Existing Cross Slope	4															

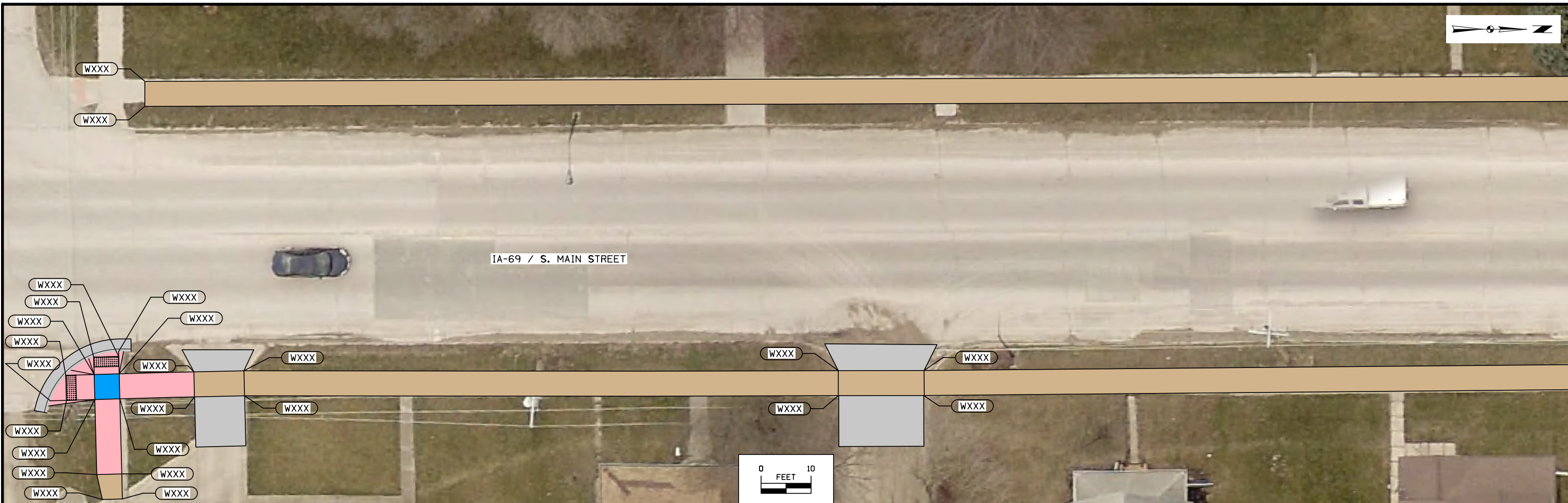


SIDEWALK COMPLIANCE
See 5 Sheets

113-10
04-18-17

- ① Does not include curb
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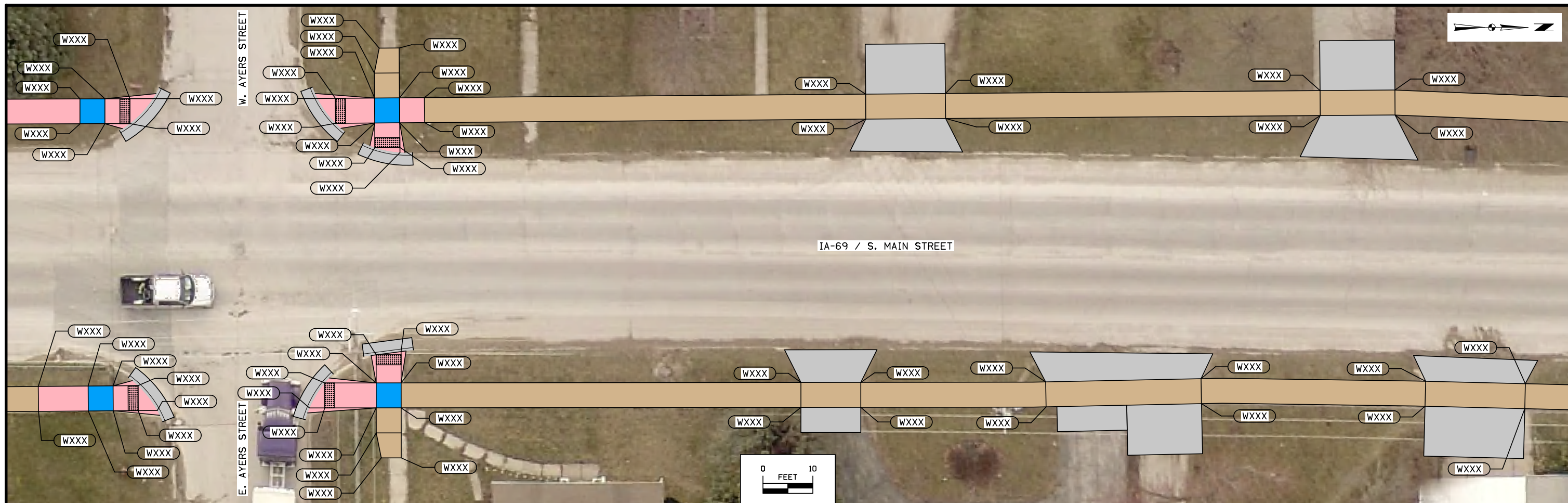
113-10
04-18-17

SIDEWALK COMPLIANCE

See 5 Sheets

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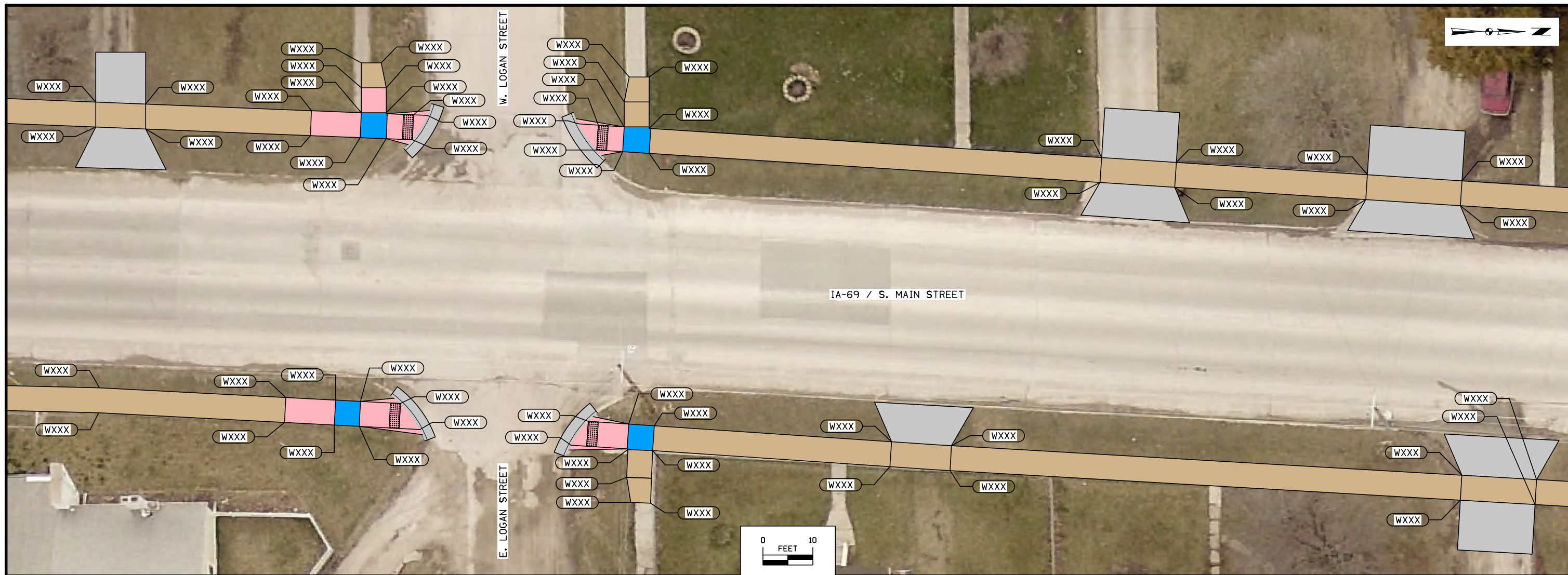


SIDEWALK COMPLIANCE
See 5 Sheets

113-10
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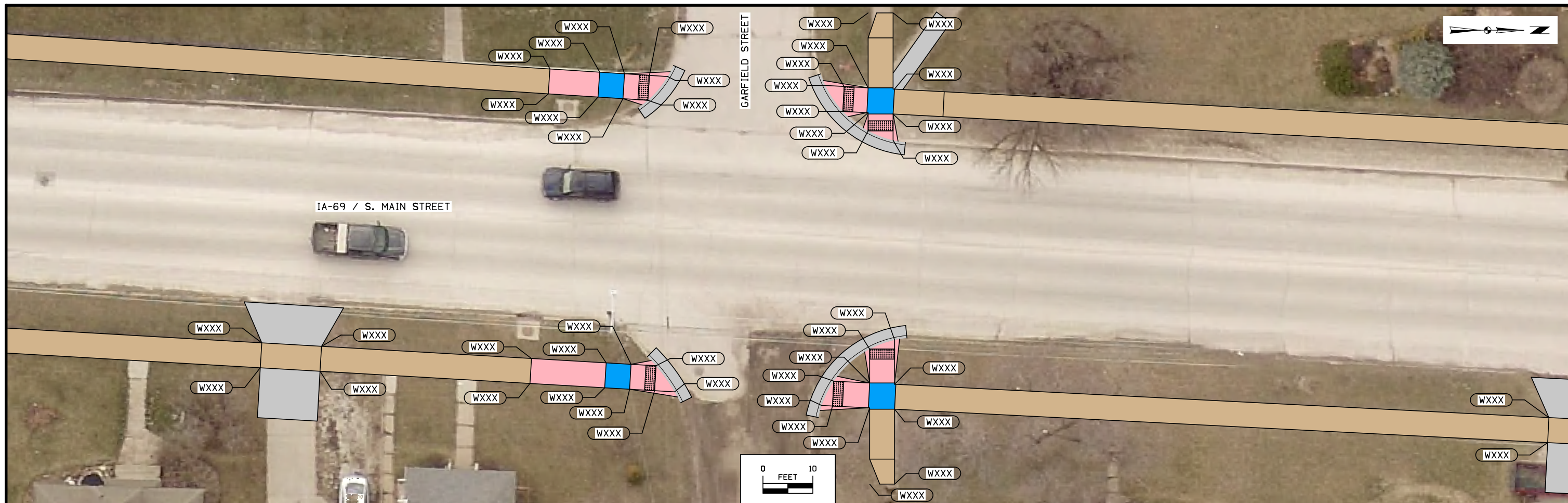
113-10
04-18-17

SIDEWALK COMPLIANCE

See S Sheets

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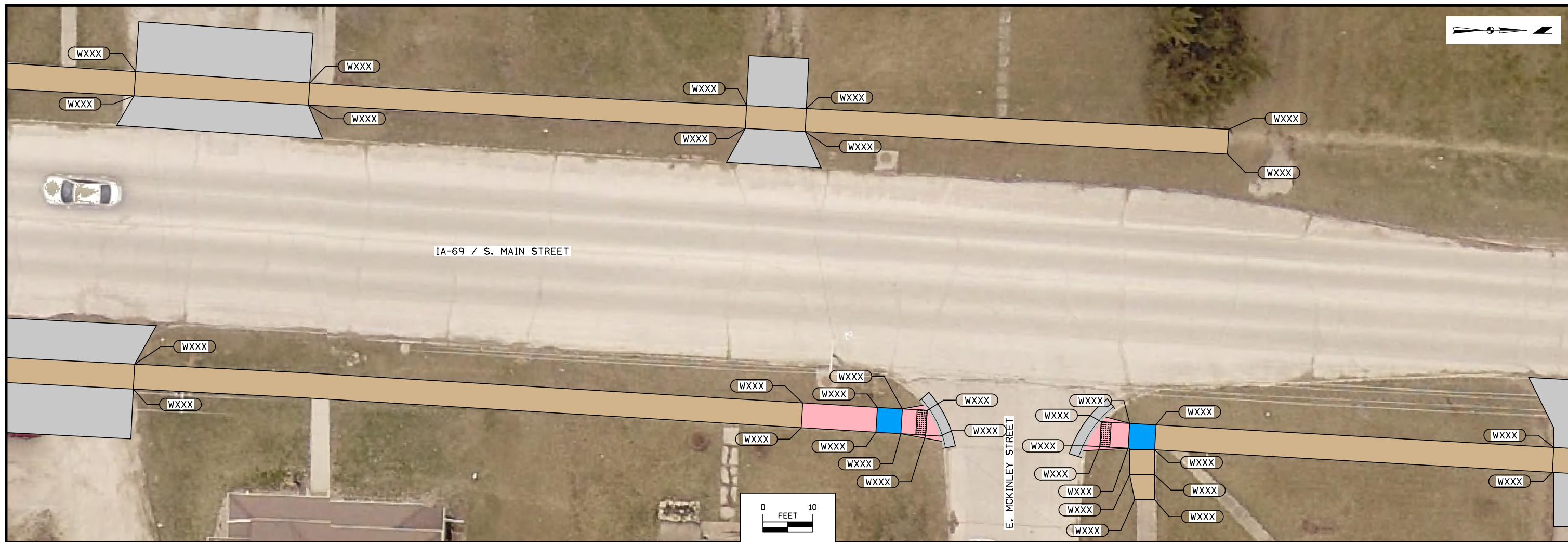


SIDEWALK COMPLIANCE
See 5 Sheets

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See S Sheets

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	Landing/Turning Space	4														
	Match Existing Cross Slope	4														

LETTING DATE
12-15-2020

HMA RESURFACING WITH MILLING
STPN-069-2(28)--2J-20

CLARKE CO.



Highway Division

PLANS OF PROPOSED IMPROVEMENT ON THE

PRIMARY ROAD SYSTEM

CLARKE COUNTY

HMA RESURFACING WITH MILLING

Pearl St to 300 ft N of Shaw St in Osceola

SCALES: As Noted

REVISIONS

TOTAL

PROJECT IDENTIFICATION NUMBER

18-20-069-010

PROJECT NUMBER

STPN-069-2(28)--2J-20

R.O.W. PROJECT NUMBER

STPN-069-2(27)--2J-20

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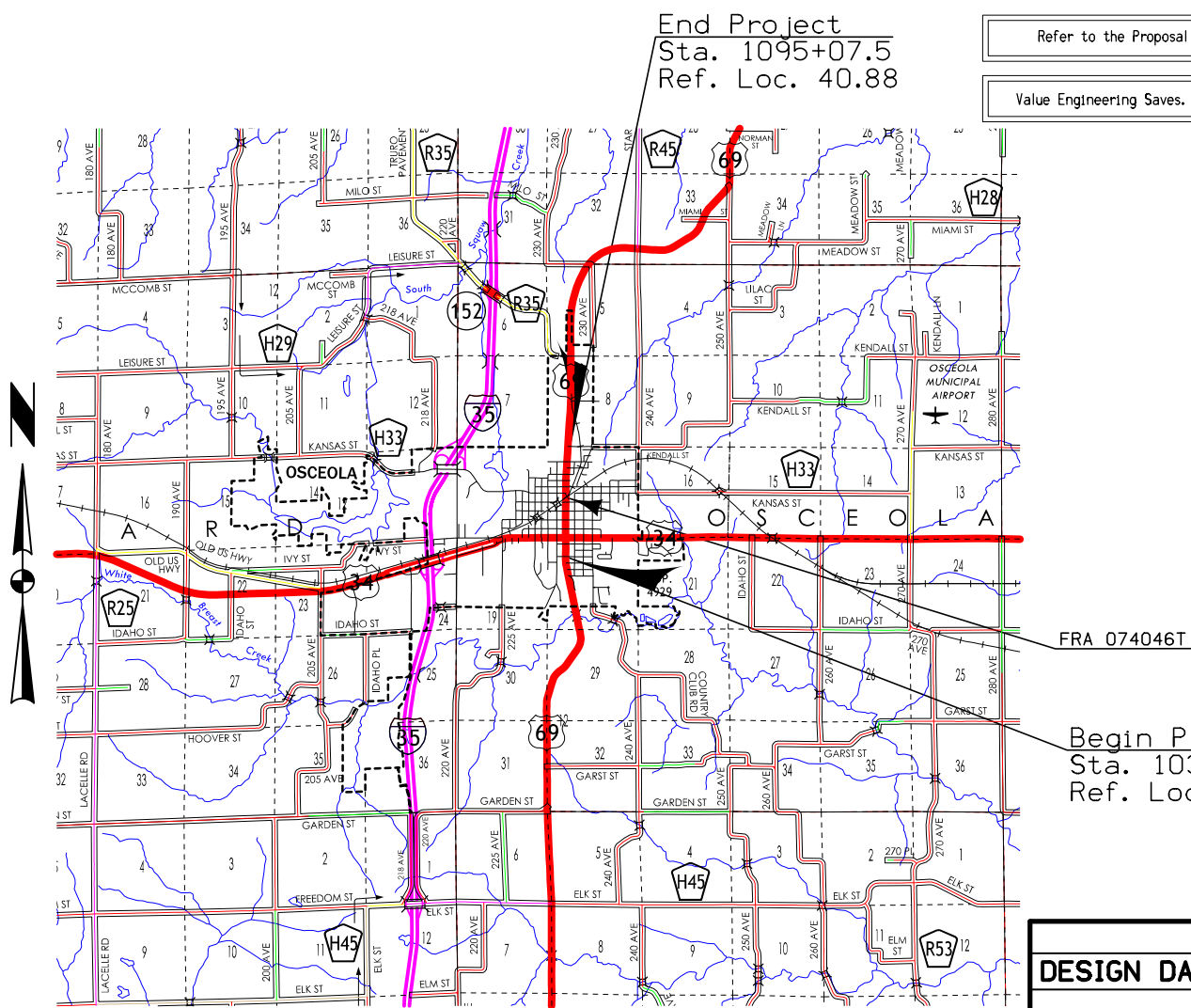
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INDEX OF SHEETS

No.	DESCRIPTION
A Sheets	Title Sheets
* A.1	Title Sheet & Location Map
* A.2	Strip Map
B Sheets	Typical Cross Sections and Details
B.1 - 2	Typical Cross Sections and Details
D Sheets	Mainline Plan and Profile Sheets
D.1 - 4	Plan & Profile As-Built
J Sheets	Traffic Control and Staging Sheets
J.1	Traffic Control Plan & 511 Travel Restrictions
J.1	Coordinated Operations
	* Color Plan Sheets

Refer to the Proposal Form for list of applicable specifications.

Value Engineering Saves. Refer to Article 1105.14 of the Specifications.



End Project
Sta. 1095+07.5
Ref. Loc. 40.88

FRA 074046T

Begin Project
Sta. 1034+90
Ref. Loc. 39.75

Project Event Dates:
D07 10-06-2020

DESIGN DATA URBAN

2021 AADT	5125	V.P.D.
2041 AADT	5883	V.P.D.
2041 DHV	610	V.P.H.
TRUCKS	7	%
Total Design ESALs	686,670	

INDEX OF SEALS

SHEET NO.	NAME	TYPE
A.1	Jonathan W. Bahr	Primary Signature Block
X	X	X

PRELIMINARY PLANS

Subject to change by final design.

IN-PROGRESS PLAN

Date: X-XX-XXXX

LOCATION MAP SCALE



FILE NO.

ENGLISH

DESIGN TEAM HOLST \ BAHR \ JACKSON

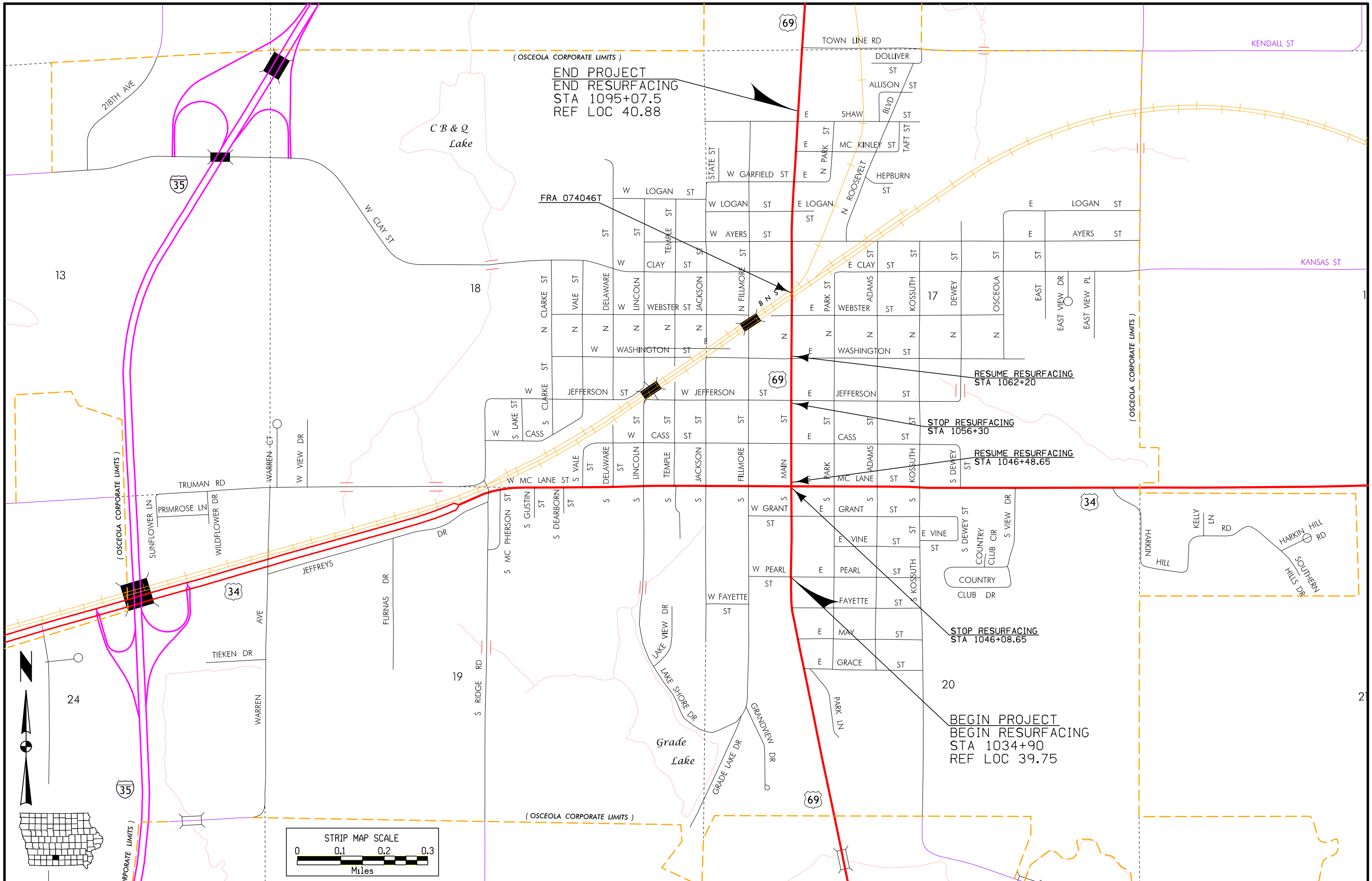
CLARKE COUNTY

PROJECT NUMBER

STPN-069-2(28)--2J-20

SHEET NUMBER

A.1

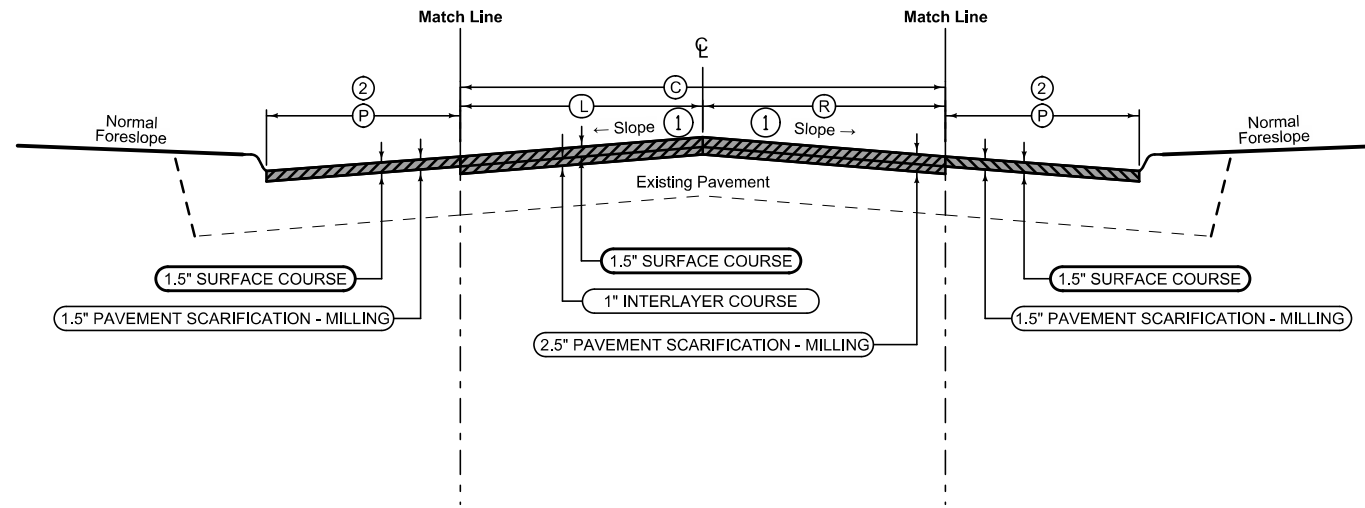


Curbed Shoulder

Shoulder Jointing:
 Longitudinal joint not required when distance from back of
 curb to nearest joint is less than 15':

Single pour: L-2
 Staged : KT-2
 Transverse: C at 17' spacing

STATION TO STATION		(P) Feet	Curb Type See PV-102
1034+90.00	1046+08.85	8.0	U.A.C



STATION TO STATION		(C) Feet	(L) Feet	(R) Feet
1034+90.00	1046+08.85	24.0	12.0	12.0

Curbed Shoulder

Shoulder Jointing:
 Longitudinal joint not required when distance from back of
 curb to nearest joint is less than 15':

Single pour: L-2
 Staged : KT-2
 Transverse: C at 17' spacing

STATION TO STATION		(P) Feet	Curb Type See PV-102
1034+90.00	1046+08.85	8.0	U.A.C

- ① Finished slope shall match existing pavement except the maximum allowable slope is 3% and the minimum allowable slope is 2%. Section may be modified as directed by Engineer through areas of special shaping.
- ② "P" dimension (parking area resurfacing) falls under Division X (City of Osceola) Funding per Agreement XXXX-XX-XXX.

**US 69 MAINLINE MILLING &
 HMA RESURFACING**

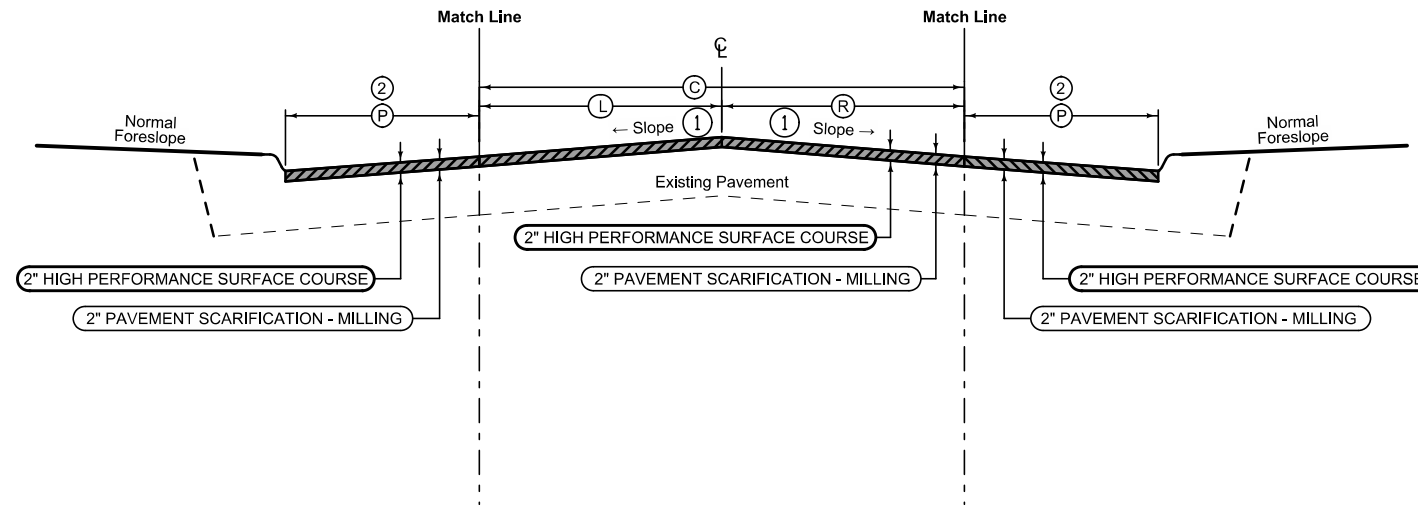
(SOUTH OF US 34)

Curbed Shoulder

Shoulder Jointing:
 Longitudinal joint not required when distance from back of
 curb to nearest joint is less than 15':

Single pour: L-2
 Staged : KT-2
 Transverse: C at 17' spacing

STATION TO STATION		(P) Feet	Curb Type See PV-102
1046+48.85	1056+30.00	8.0	U.A.C.
1062+20.00	1095+07.5	8.0	U.A.C.



STATION TO STATION		(C) Feet	(L) Feet	(R) Feet
1046+48.85	1056+30.00	24.0	12.0	12.0
1062+20.00	1095+07.5	24.0	12.0	12.0

Curbed Shoulder

Shoulder Jointing:
 Longitudinal joint not required when distance from back of
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Single pour: L-2
 Staged : KT-2
 Transverse: C at 17' spacing

STATION TO STATION		(P) Feet	Curb Type See PV-102
1046+48.85	1056+30.00	8.0	U.A.C.
1062+20.00	1095+07.5	8.0	U.A.C.

- ① Finished slope shall match existing pavement except the maximum allowable slope is 3% and the minimum allowable slope is 2%. Section may be modified as directed by Engineer through areas of special shaping.
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US 69 MAINLINE MILLING & HMA RESURFACING

(NORTH OF US 34)

ESTABLISHED WIDTH OF RIGHT OF WAY _____ FT

Ref To P.O.T Sta 1039+50 OSCEOLA TWP T.72 N R.25 W

FED. ROAD DIST. NO.	STATE	FED. AID PROJ. NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
5	IOWA	F-152(4)		8	26

NOTE: See Sheet No. 5 for Detailed Sketch of R.O.W. Acquired at Let. U.S. 16. 34 by U.S. No. 69

PLAN

DRAWN BY: _____

CHECKED BY: _____

DATE: _____

NOTE: BOB, M. & M. NOTES CHKD.

STRUCTURE NOTATIONS CHKD.

PROFILE

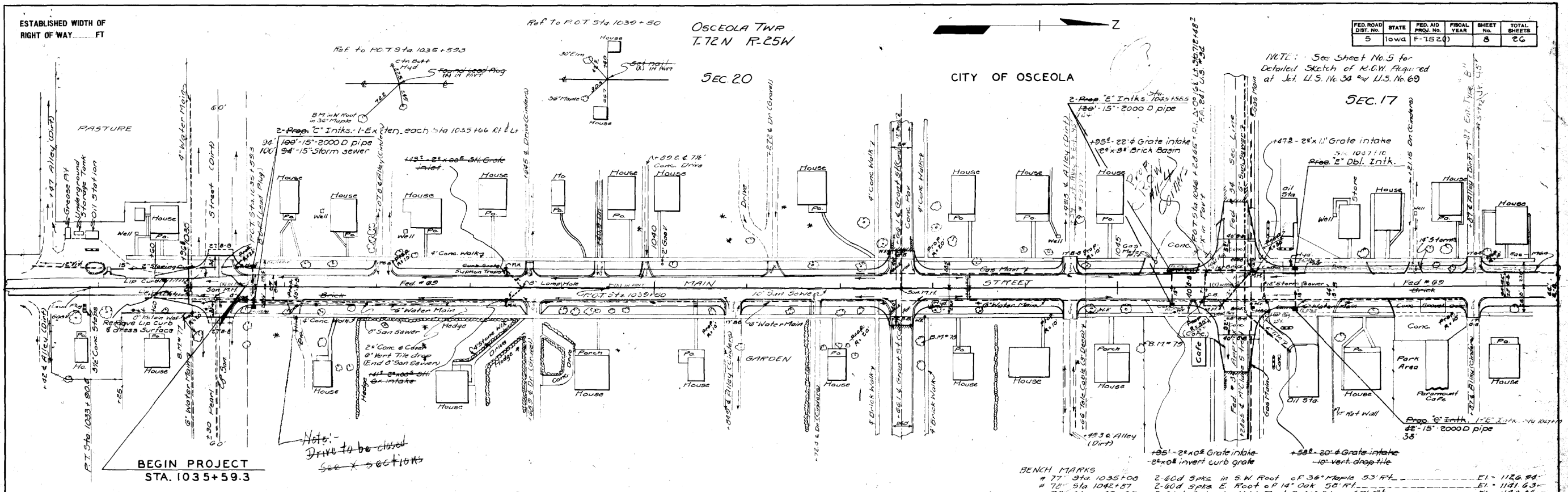
DRAWN BY: _____

CHECKED BY: _____

DATE: _____

NOTE: BOB, M. & M. NOTES CHKD.

STRUCTURE NOTATIONS CHKD.



BEGIN PROJECT STA. 1035+59.3

Note: Drive to be closed See Section 10+3

BENCH MARKS

- # 71 Sta. 1035+08 2-60d spks in S.W. Roof of 36" Maple 53' Ht. E1= 1126.84
- # 72 Sta. 1042+57 2-60d spks in Roof of 8' 14" Oak 58' Ht. E1= 1121.63
- # 73 Sta. 1045+25 2-60d spks in N.W. Roof of 40' Elm 67' Ht. E1= 1140.66

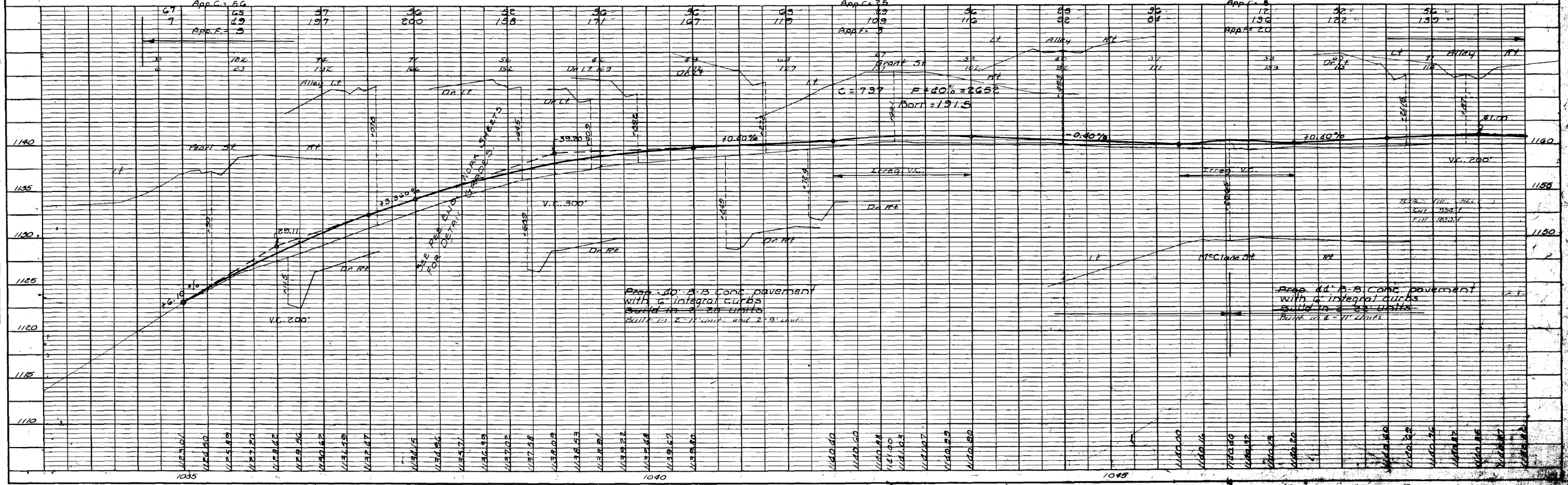
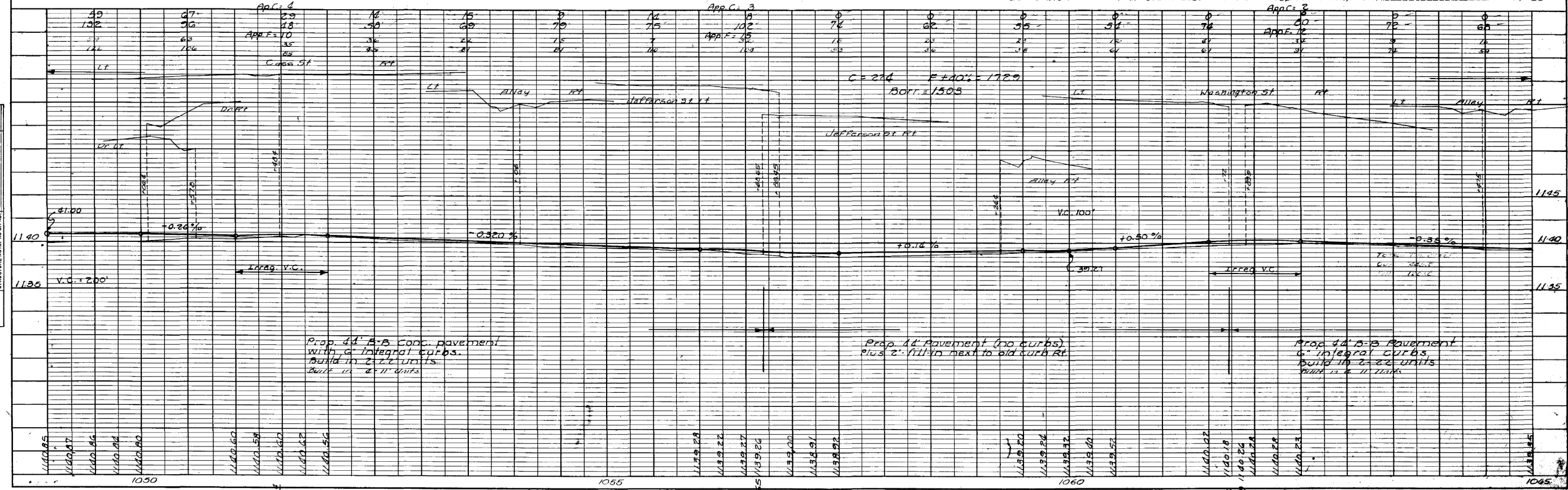
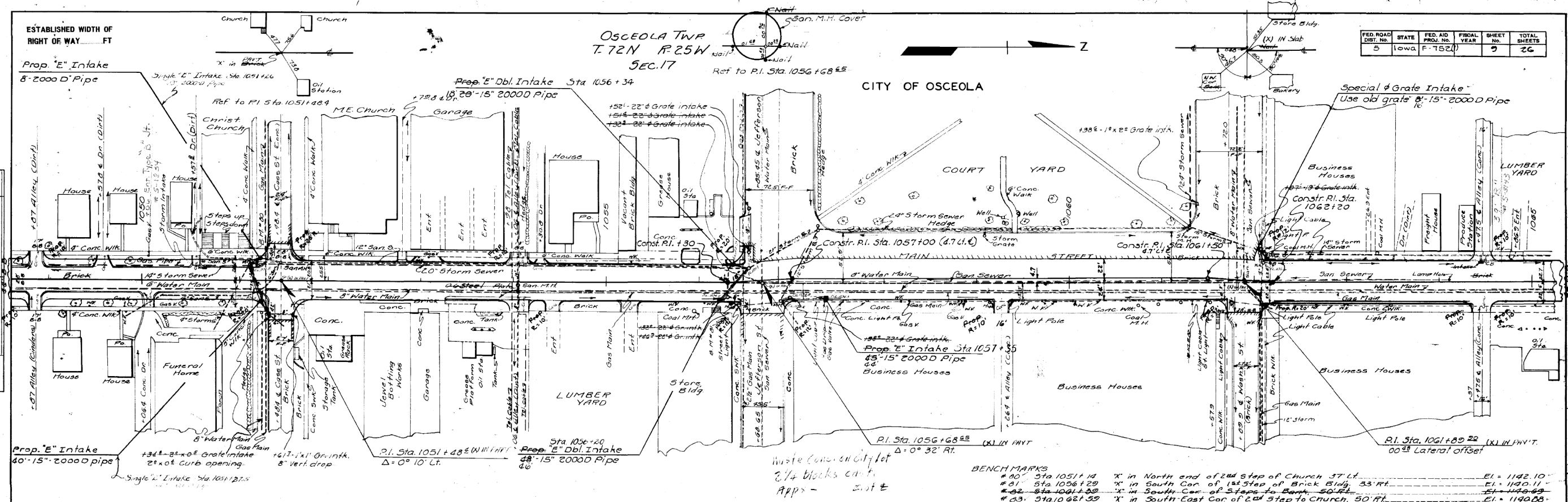


PLATE 1 - PLAN-PROFILE OF P.A.R.A.K.E. STANDARD

Change Go F-752(4) Sheet No. 8

This Sheet For Information Only

FED. ROAD DIST. NO.	STATE	FED. AID PROJ. NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
5	Iowa	F-152(1)		9	26



PLAN SURVEYED, PLOTTED, CHECKED, & AS NOTED. NO. 107 ALLEY (CON'D.)

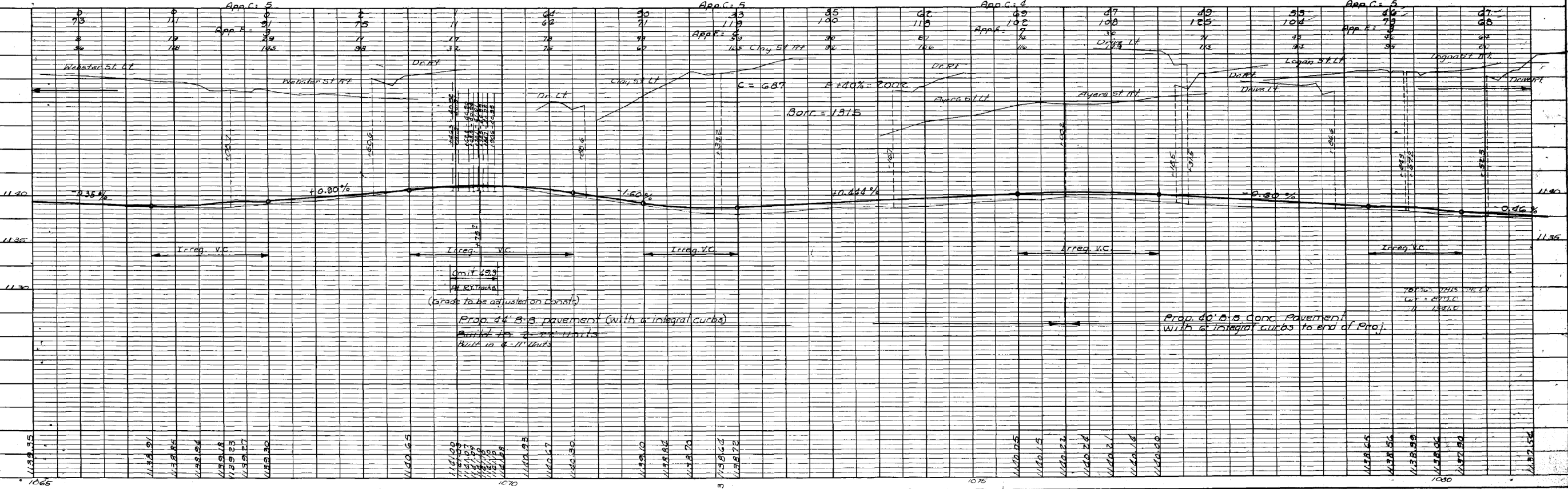
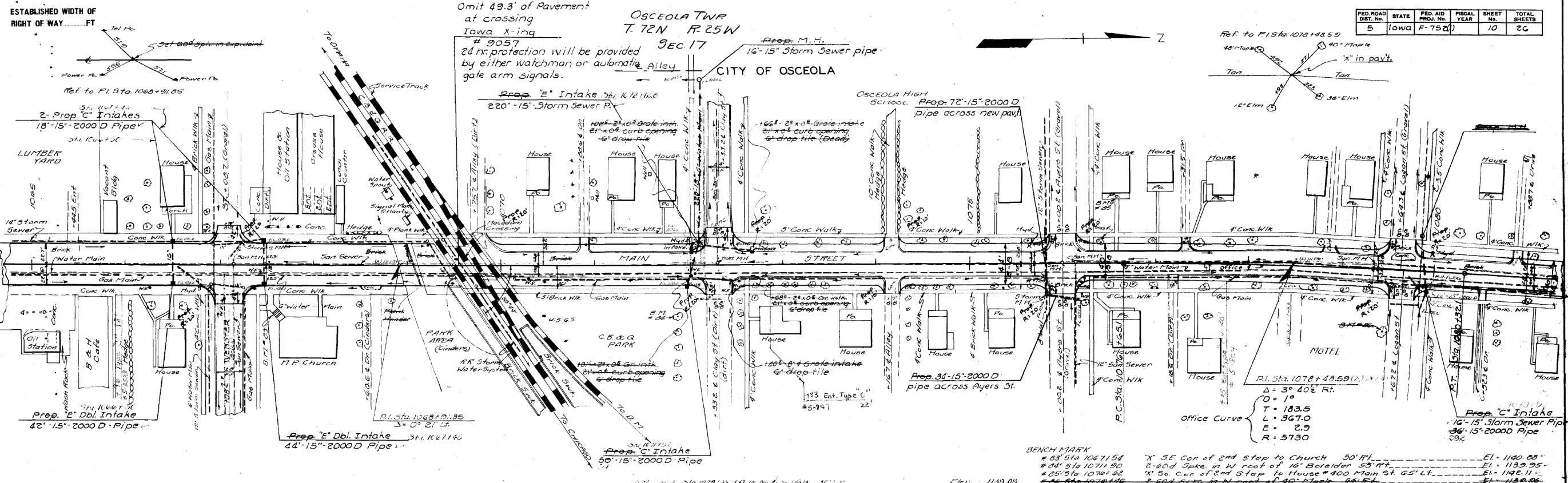
PROFILE SURVEYED, PLOTTED, CHECKED, & AS NOTED. NO. 107 ALLEY (CON'D.)

PLATE 1 - PLAN PROFILE O.P. & R.E. STANDARD
FEL & ESSER CO., NEW YORK

Clarke Co. F-152(1) Sheet No. 9

This Sheet For Information Only

FED. ROAD DIST. NO.	STATE	FED. AID PROJ. NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
5	IOWA	F-752(1)		10	26



PLAN SERVICES TO BE PROVIDED BY CONTRACTOR:
 SERVICES TO BE PROVIDED BY CONTRACTOR:
 NOTE: BOOK GRADING CHECKED BY: [Signature]
 ALIGNMENT CHECKED BY: [Signature]
 REVISIONS: [Table with 2 columns: No., Description]

PROFILE SERVICES TO BE PROVIDED BY CONTRACTOR:
 SERVICES TO BE PROVIDED BY CONTRACTOR:
 NOTE: BOOK GRADING CHECKED BY: [Signature]
 REVISIONS: [Table with 2 columns: No., Description]

Clark Co. F-752(1) Sheet no. 10

This Sheet For Information Only

FED. ROAD DIST. NO.	STATE	FED. AID PROJ. NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
5	Iowa	F-752(1)		11	26

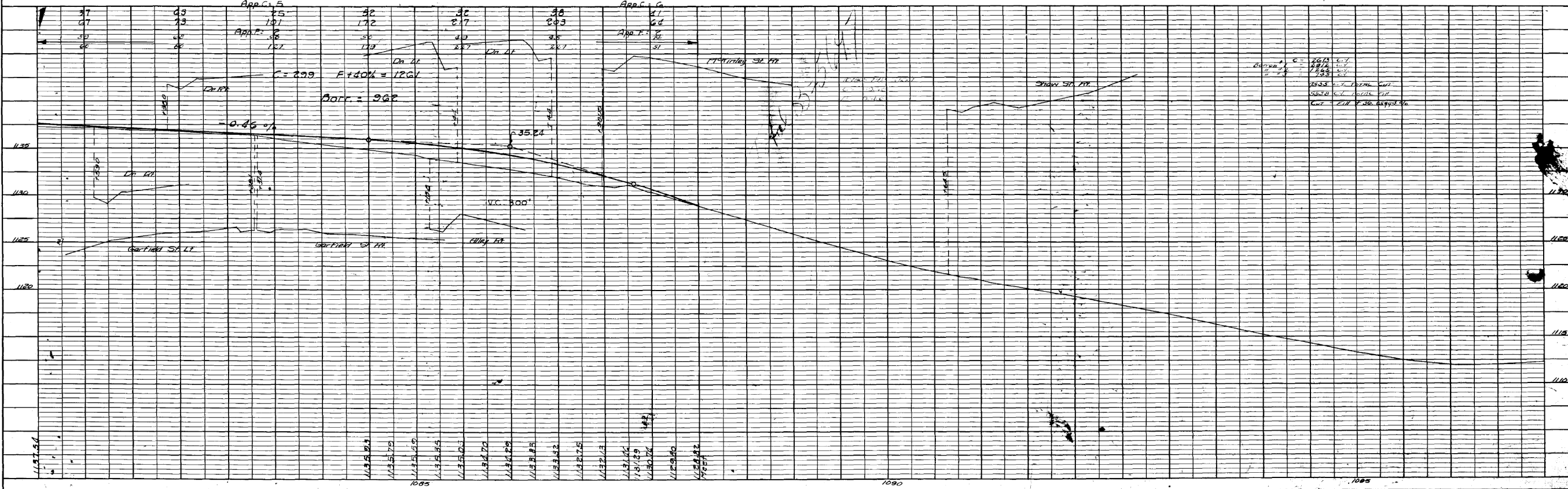
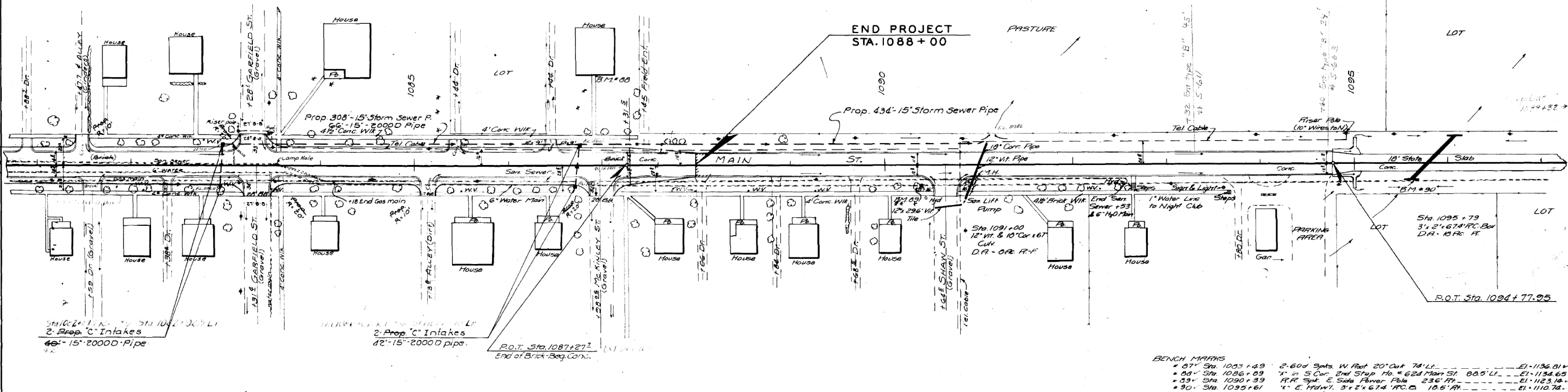
ESTABLISHED WIDTH OF RIGHT OF WAY _____ FT

Osceola Twp
T-72 N-R 25 W
SEC. 17

CITY OF OSCEOLA

DATE	BY	REVISION

DATE	BY	REVISION



BENCH MARKS
 * 07' Sta. 1003+49 2-60d Spots W Refl 20' Oak 74' Lt. --- EL-1136.01V
 * 08' Sta. 1006+09 1' in S Cor. 2nd Stop Ho. # 624 Main St. 0.25' Lt. --- EL-1134.65V
 * 09' Sta. 1090+39 1' in S Cor. E Side River Falls 23' Sp. --- EL-1123.18V
 * 90' Sta. 1095+61 1' in E. Hdw. 3' 2' x 6' 4' RC. B. 10.5' Rt. --- EL-1110.38V

PLATE 1 - PLAN-PROFILE O.P.R. & R.C. STANDARD
 REVISED BY E.S. CO. NEW YORK

Clarke Co. F-752 (1), Sheet No. 11

This Sheet For Information Only

108-23A
08-01-08

TRAFFIC CONTROL PLAN

1. Through traffic shall be maintained at all times.
2. Access to all properties shall be maintained at all times.

111-01
04-17-12

COORDINATED OPERATIONS

Other work in progress during the same period of time will include the construction of the projects listed. Coordinate operations with those of other contractors working within the same area.

Project	Type of Work
None anticipated	

108-25
10-21-14

511 TRAVEL RESTRICTIONS

Route	Direction	County	Location Description	Feature Crossed	Object Type	Maint. Bridge No., Structure ID, or FHWA No.	Type of Restriction	Existing Measurement	Construction Measurement	Construction Measurement as Signed	Projected As Built Measurement	Remarks
			No restrictions anticipated.									